

- NOTES:
1. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
 2. TOPOGRAPHIC SURVEY DATA SHOWN HAS BEEN PRODUCED BY ABLE ENGINEERING SERVICES ON JULY 13, 2023. VALUES SHOWN ARE DERIVED FROM GPS SURVEYING USING AN NTRIP SOURCE AND COORDINATE SYSTEM NAD83 CSRS 2010 CQV2023.13.
 3. THIS IS NOT A LEGAL BOUNDARY SURVEY. BOUNDARIES SHOWN WERE APPROXIMATE, DERIVED FROM PROPERTY ONLINE MAPPING/PLAN OF SURVEY AND FIELD RECONSTRUCTION BY CIVIL ENGINEERING TECHNICAL. BOUNDARIES ARE SUBJECT TO A LEGAL FIELD SURVEY BY A LICENSED N.E.S. AND A LEGAL SURVEY AND CASE OFFICERS AND BOUNDARIES TO DIFFER FROM WHAT IS SHOWN HEREIN.
 4. ALL NOTES MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR MUNICIPAL SERVICES (LATEST EDITION).
 5. SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.

1	03/07/2025	ISSUED FOR REVIEW	LW
2	03/07/2025	REVISED	LD



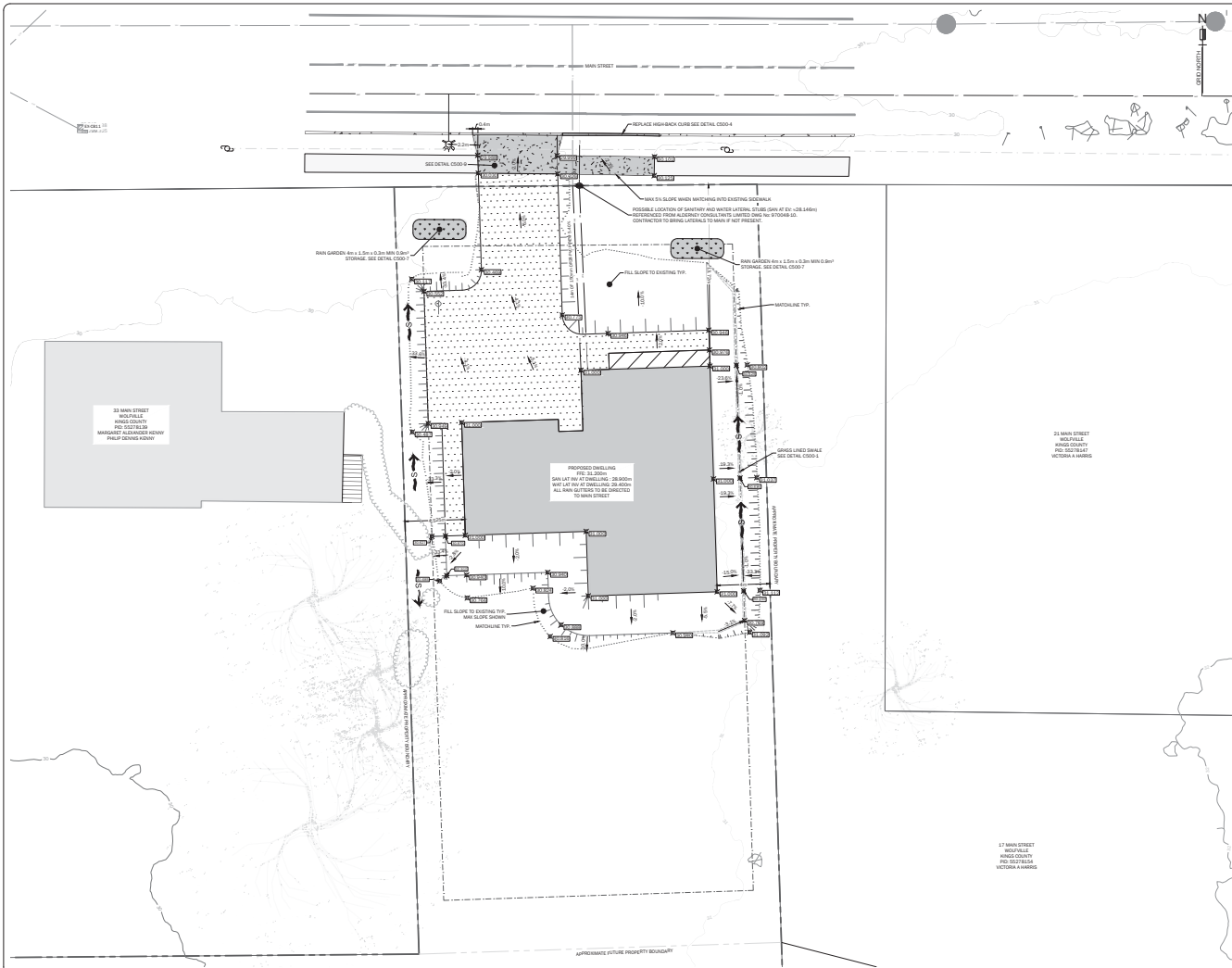
SCALE: 1:125

Proposed	Vertical	File	ARCH D (SPL/PLW)
E115	N/A		

LOT 215 MAIN STREET
WOLFVILLE, NS
PID: 55372213

EXISTING SITE PLAN

Project No.	Client	Drawn	Scale
252115-13	L. WEBER		1 of 5
Date	Designer	Checker	
JANUARY 10, 2025	J. PORTER	M.A. VINCENT	C100



- NOTES:
1. TOPOGRAPHIC SURVEY DATA SHOWN HAS BEEN PRODUCED BY ABLE ENGINEERING ON 01/15/2025.
 2. THIS IS NOT A LEGAL BOUNDARY SURVEY. BOUNDARIES SHOWN HERE ARE APPROXIMATE, DERIVED FROM PROPERTY ONLINE MAPS. A LEGAL BOUNDARY SURVEY IS REQUIRED FOR A LEGAL FIELD SURVEY BY A LICENSED NLSL AND A LEGAL SURVEY MUST OBTAIN STREETS AND BOUNDARIES TO DIFFER FROM WHAT IS SHOWN HEREIN.
 3. LANDSCAPING MUST BE PERFORMED IN SUCH A WAY TO ENSURE POSITIVE DRAINAGE OF STORM WATER FROM AROUND DWELLING. A MINIMUM SLOPE OF 0.5% AWAY FROM THE DWELLING IS REQUIRED FOR THE FIRST 1.5 METERS. ALL OTHER CONTRACTED GRASSES ARE TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3% EXCEPT FOR GARAGE ENTRANCES.
 4. MINIMUM VERTICAL DISTANCES FROM TOP OF FOUNDATION WALL TO FINISHED GRADE TO BE MINIMUM 0.2m, EXCEPT FOR GARAGE ENTRANCES.
 5. CONTRACTORS TO VERIFY FOUNDATION DIMENSIONS SHOWN WITH BUILDING PLANS PRIOR TO CONSTRUCTION.
 6. EXISTING CONTOURS ARE BASED ON TOPOGRAPHICAL SURVEY DATA WITH AN INTERVAL OF 0.1m & 0.5m.
 7. ALL DISTURBED AREAS TO BE PERMANENTLY ESTABLISHED AND FINISHED WITH ETHICAL GRASS, ASPHALT AND/OR LANDSCAPING, UNLESS OTHERWISE INDICATED.
 8. IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE DESIGNER IS TO BE NOTIFIED IMMEDIATELY.
 9. ALL WORK TO BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR MUNICIPAL SERVICES.
 10. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
 11. RETAINING WALLS GREATER THAN 1.4m ARE TO BE DESIGNED BY OTHERS.

PROPOSED ELEVATION $\times 0.001$
 EXISTING ELEVATION $\times 0.001$

1	02/27/2025	ISSUED FOR REVIEW	LW
2	03/03/2025	REVISED: COMMENTS	MS



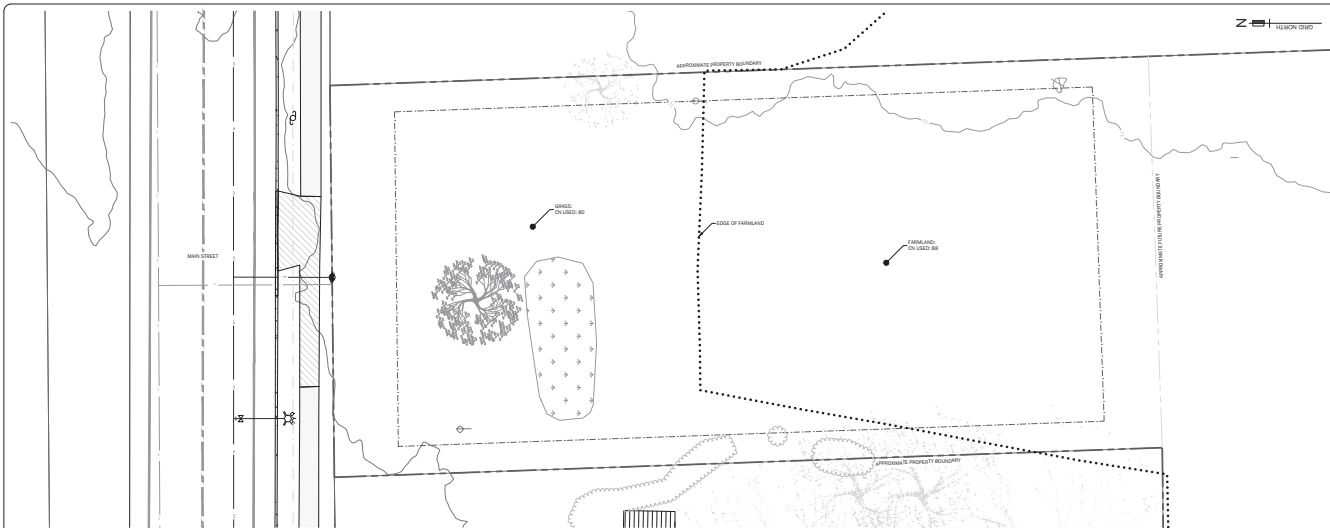
SCALE: 1:125

Address: 2115 Main Street, Wolfville, NS
 Project: LOT 215 MAIN STREET, WOLFVILLE, NS, PID: 55372213

PROPOSED SITE PLAN

Project No:	2021-15-13	Drawn:	L. WEBER	Sheet:	2 of 5
Date:	JANUARY 10, 2025	Checked:	J. PORTER	Scale:	
		Client:	MA VIGENTIN		

C101



- NOTES:**
1. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
 2. TOPOGRAPHIC SURVEY DATA SHOWN HAS BEEN PRODUCED BY ABLE ENGINEERING SERVICES ON JULY 13, 2023. VALUES SHOWN ARE DERIVED FROM GPS OBSERVATIONS ON NAVAR SCOUTS UTM COORDINATE SYSTEM NAD83 CSRS 2010 COV02013.
 3. THIS IS NOT A LEGAL SURVEY. BOUNDARIES SHOWN HERE ARE APPROXIMATE, DERIVED FROM PROPERTY ONLINE MAPPING/PLAN OF SURVEY AND FIELD RECONNAISSANCE BY CIVIL ENGINEERING TECHNICAL. BOUNDARIES ARE SUBJECT TO A LEGAL FIELD SURVEY BY A LICENSED P.E. AND A LEGAL SURVEY PLAN CASE OFFICES AND BOUNDARIES TO DIFFER FROM WHAT IS SHOWN HEREIN.
 4. ALL NOTES MUST CONFORM TO THE STANDARD SPECIFICATION FOR MUNICIPAL SERVICES (LATEST EDITION).
 5. SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.

Existing 1 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Peak Rate	Total Precipitation	Total Runoff	Peak Runoff	Time of Concentration
(ha)			Factor		(mm)	(mm)	(l/s)	(l/s)	(Days:hr:min:sec)
1072002	0.18	04-02	84.12	57140	400	74.54	37.34	6.58	0:30:29.42

Existing 10 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Peak Rate	Total Precipitation	Total Runoff	Peak Runoff	Time of Concentration
(ha)			Factor		(mm)	(mm)	(l/s)	(l/s)	(Days:hr:min:sec)
1072002	0.18	04-02	84.12	57140	400	85.62	46.54	8.74	0:30:29.42

Existing 25 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Peak Rate	Total Precipitation	Total Runoff	Peak Runoff	Time of Concentration
(ha)			Factor		(mm)	(mm)	(l/s)	(l/s)	(Days:hr:min:sec)
1072002	0.18	04-02	84.12	25740	400	94.12	58.02	11.02	0:30:29.42

Existing 50 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Peak Rate	Total Precipitation	Total Runoff	Peak Runoff	Time of Concentration
(ha)			Factor		(mm)	(mm)	(l/s)	(l/s)	(Days:hr:min:sec)
1072002	0.18	04-02	84.12	50740	400	105.02	67.72	12.74	0:30:29.42

Existing 100 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Peak Rate	Total Precipitation	Total Runoff	Peak Runoff	Time of Concentration
(ha)			Factor		(mm)	(mm)	(l/s)	(l/s)	(Days:hr:min:sec)
1072002	0.18	04-02	84.12	100740	400	120.02	77.02	14.42	0:30:29.42

THE STORM WATER RUNOFF FOR THE 1.5, 1.0, 1.25, 1.50, 1.100 YEAR STORM EVENTS WAS ESTIMATED USING STORM & SANITARY ANALYSIS 2020 (S&S) FROM AUTOGAD CIVIL CO.

THE STORM WATER CALCULATIONS WERE BASED ON THE SOIL CONSERVATION SERVICE METHOD (SCS TR 56) RUNOFF METHODOLOGY USING THE SYNTHETIC DESIGN STORM EVENT COMMONLY REFERRED TO AS THE CHICAGO STORM. THE RAIN FALL AMOUNTS USED IN THE ANALYSIS & MODELING ARE AS FOLLOWS & WERE OBTAINED FROM ENVIRONMENT CANADA RAIN FALL DATABASE:

- 1.5 - 15.0mm OF RAIN FALL OVER 24HR PERIOD
- 1.0 - 10.0mm OF RAIN FALL OVER 24HR PERIOD
- 1.25 - 12.5mm OF RAIN FALL OVER 24HR PERIOD
- 1.100 - 11.0mm OF RAIN FALL OVER 24HR PERIOD

1	03/27/2025	ISSUED FOR REVIEW	LW
2	03/27/2025	Revised: Comments	LD



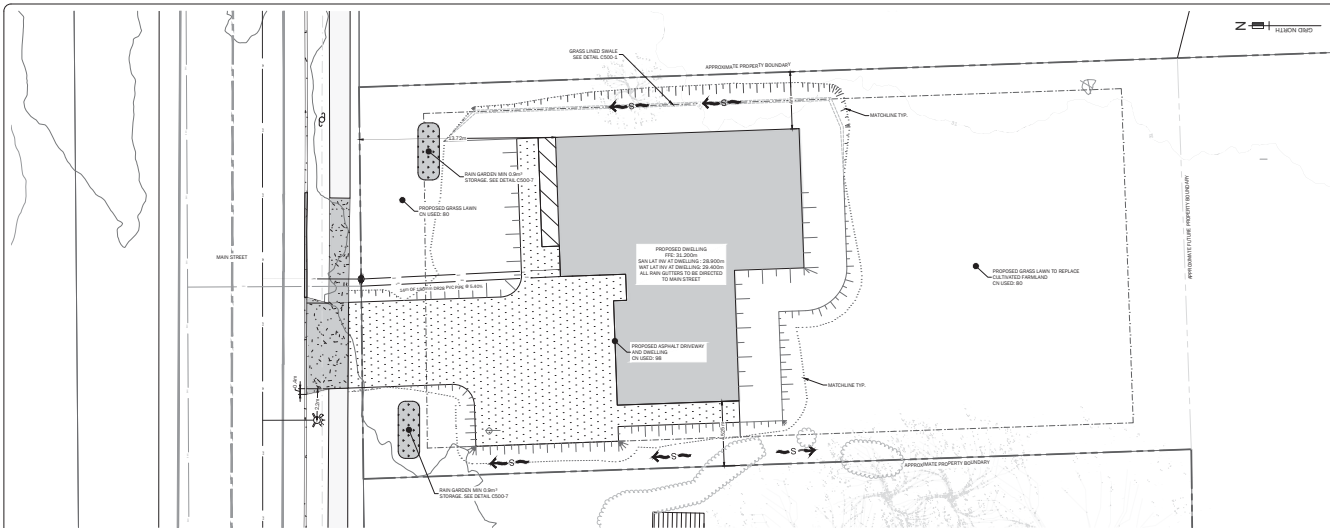
SCALE: 1:125

Proposed	1:125	Vertical	N/A	File	ARCH-D (S&S) RW
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LOT 215 MAIN STREET
WOLFVILLE, NS
PID: 55372213

STORMWATER ANALYSIS
EXISTING

Project No.	2021-15-13	Client	L WEBER	Sheet	3 of 5
Drawn	J PORTER	Checked	J PORTER	Project No.	C102
Date	JANUARY 10, 2025	Scale	N/A	Drawn By	MA VIGENTIN



- NOTES:**
1. ALL MEASUREMENTS SHOWN ARE IN METRIC UNITS OF MEASURE.
 2. TOPOGRAPHIC SURVEY DATA SHOWN HAS BEEN PRODUCED BY ABLE ENGINEERING SERVICES ON JULY 15, 2020. VALUES SHOWN ARE DERIVED FROM GPS OBSERVATIONS ON NAD83 UTM ZONE 18Q UTM COORDINATE SYSTEM NAD83 CSRS 2010 COORDINATES.
 3. THIS IS NOT A LEGAL BOUNDARY SURVEY. BOUNDARIES SHOWN WERE APPROXIMATE, DERIVED FROM PROPERTY ONLINE MAPPING/PLAN OF SURVEY AND FIELD RECONNAISSANCE BY CIVIL ENGINEERING TECHNICIAN. BOUNDARIES ARE SUBJECT TO A LEGAL FIELD SURVEY BY A LICENSED P.E. WITH A LEGAL SURVEY MAP CASE NUMBER AND BOUNDARIES TO DIFFER FROM WHAT IS SHOWN HEREIN.
 4. ALL NOTES MUST CONFORM TO THE STANDARD SPECIFICATION FOR MUNICIPAL SERVICES (LATEST EDITION).
 5. SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.

Proposed 5 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Rain Gauge Factor	Peak Rate Precipitation (mm)	Peak Runoff (l/s)	Total Runoff (l/s)	Peak Concentration (days)	Time of Arrival (h:m)
1073002	0.14	04-01	85.04	5	400	74.14	29.01	7.11	0	00:29:48

Proposed 10 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Rain Gauge Factor	Peak Rate Precipitation (mm)	Peak Runoff (l/s)	Total Runoff (l/s)	Peak Concentration (days)	Time of Arrival (h:m)
1073002	0.14	04-01	85.04	10	400	85.41	32.04	9.20	0	00:29:48

Proposed 25 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Rain Gauge Factor	Peak Rate Precipitation (mm)	Peak Runoff (l/s)	Total Runoff (l/s)	Peak Concentration (days)	Time of Arrival (h:m)
1073002	0.14	04-01	85.04	25	400	95.15	35.41	11.41	0	00:29:48

Proposed 50 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Rain Gauge Factor	Peak Rate Precipitation (mm)	Peak Runoff (l/s)	Total Runoff (l/s)	Peak Concentration (days)	Time of Arrival (h:m)
1073002	0.14	04-01	85.04	50	400	109.93	39.93	13.11	0	00:29:48

Proposed 100 Year Storm

Element ID	Area	Drainage Node ID	Weighted Curve Number	Rain Gauge ID	Rain Gauge Factor	Peak Rate Precipitation (mm)	Peak Runoff (l/s)	Total Runoff (l/s)	Peak Concentration (days)	Time of Arrival (h:m)
1073002	0.14	04-01	85.04	100	400	120.04	39.21	14.81	0	00:29:48

Quantity

Peak Flow (l/s)	Existing (l/s)	Proposed (l/s)	Storage Required (m³)
7.11	6.79	7.11	0.000
9.20	8.74	9.20	0.157
11.41	10.82	11.41	0.462
13.11	12.74	13.11	0.638
14.81	14.48	14.81	0.504

THE STORM WATER RUNOFF FOR THE 1.5, 1.10, 1.25, 1.50, 1.100 YEAR STORM EVENTS WAS ESTIMATED USING STORM & SANITARY ANALYSIS 2000 (SFA) FROM AUTOCAD CIVIL 3D.

THE STORM WATER CALCULATIONS WERE BASED ON THE SOIL CONSERVATION SERVICE METHOD SOCS TRUSS RUNOFF METHODOLOGY USING THE SYNTHETIC DESIGN STORM EVENT COMMONLY REFERRED TO AS THE ORIGINAL STORM. THE RAINFALL AMOUNTS USED IN THE ANALYSIS & MODELING ARE AS FOLLOWS & WERE OBTAINED FROM ENVIRONMENT CANADA RAINFALL DATABASE:

- 1.5 = 75.0mm OF RAIN FALL OVER 24HR PERIOD
- 1.10 = 86.1mm OF RAIN FALL OVER 24HR PERIOD
- 1.25 = 100.0mm OF RAIN FALL OVER 24HR PERIOD
- 1.50 = 110.0mm OF RAIN FALL OVER 24HR PERIOD
- 1.100 = 120.0mm OF RAIN FALL OVER 24HR PERIOD

5 YEAR STORM REQUIRES 0.5m³ STORAGE IN ORDER TO MATCH POST CONSTRUCTION TO EXISTING CONDITIONS. THIS IS ACHIEVED BY ADDING RAIN GARDENS TO REDUCE THE INCREASED FLOW FROM THE ADDED HARD SURFACE.

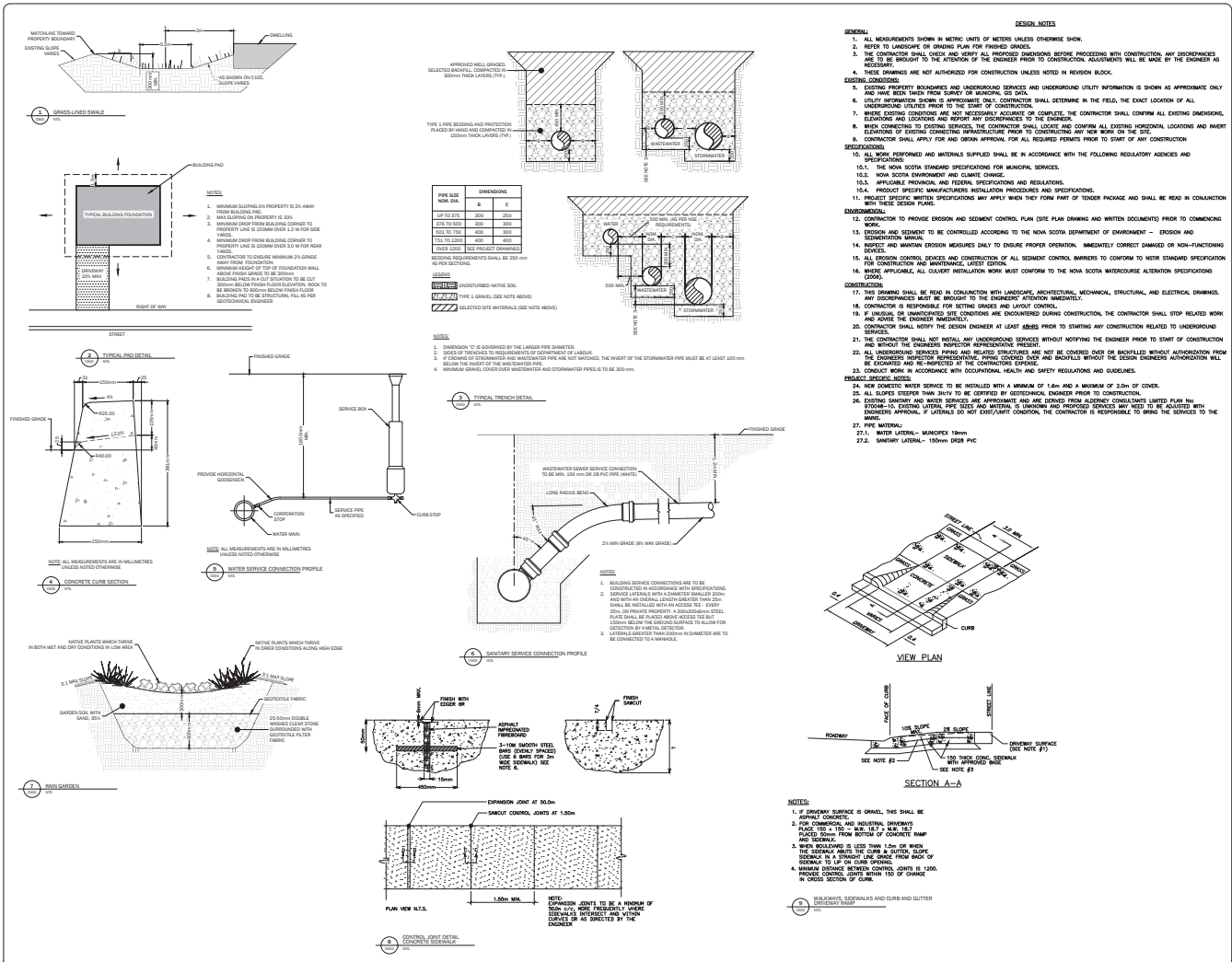
1	02/20/20	ISSUED FOR REVIEW	LW
2	02/20/20	Revised: Designer	SW



Project: LOT 215 MAIN STREET
 Location: WOLFVILLE, NS
 PID: 55372213

Client: STORMWATER ANALYSIS
 Project: PROPOSED

Project No:	55372213	Drawn:	L. WEBER	Sheet:	4 of 5
Client:	ABLE	Checked:	J. PORTER	Project No.:	C103
Date:	JANUARY 10, 2020	Scale:	N/A	Author:	M.A. VIGENTIN



DESIGN NOTES

1. ALL MEASUREMENTS SHOWN IN METRIC UNITS OF METERS UNLESS OTHERWISE SHOWN.
2. REFER TO LANDSCAPE OR GRADING PLAN FOR FINISHED GRADES.
3. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PROPOSED PRIOR TO CONSTRUCTION. ASSUMPTIONS WILL BE MADE BY THE ENGINEER AS NECESSARY.
4. THESE CHANGES ARE NOT AUTHORIZED FOR CONSTRUCTION UNLESS NOTED IN REVISION BLOCK.

EXISTING CONDITIONS:

1. EXISTING PROPERTY BOUNDARIES AND UNDERGROUND SERVICES AND UNDERGROUND UTILITY INFORMATION IS SHOWN AS APPROXIMATE ONLY AND HAVE BEEN TAKEN FROM SURVEY OR MUNICIPAL GIS DATA.
2. EXISTING INFORMATION SHOWN IS APPROXIMATE ONLY. CONTRACTOR SHALL DETERMINE IN THE FIELD, THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
3. BEFORE STARTING CONSTRUCTION AND NOT NECESSARILY ACCURATE OR COMPLETE, THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS, ELEVATIONS AND LOCATIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
4. WHEN CONDUCTING EXISTING SERVICES, THE CONTRACTOR SHALL LOCATE AND CONFIRM ALL EXISTING LOCATIONS AND MARK EXISTING EXISTING EXISTING INFRASTRUCTURE PRIOR TO CONDUCTING ANY NEW WORK ON THE SITE.
5. CONTRACTOR SHALL APPLY FOR AND OBTAIN APPROVAL FOR ALL REQUIRED PERMITS PRIOR TO START OF ANY CONSTRUCTION.

SPECIFICATIONS:

10. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL BE IN ACCORDANCE WITH THE FOLLOWING REGULATORY AGENCIES AND SPECIFICATIONS:
 - 10.1. THE NOVA SCOTIA STANDARD SPECIFICATIONS FOR MUNICIPAL SERVICES.
 - 10.2. NOVA SCOTIA DEPARTMENT AND CLIMATE CHANGE.
 - 10.3. APPLICABLE PROVISIONAL AND FEDERAL SPECIFICATIONS AND REGULATIONS.
 - 10.4. PRODUCT SPECIFIC MANUFACTURER'S INSTALLATION PROCEDURES AND SPECIFICATIONS.
11. PRODUCT SPECIFIC WRITTEN SPECIFICATIONS MAY APPLY WHEN THEY FORM PART OF TENDER PACKAGE AND SHALL BE READ IN CONJUNCTION WITH THESE DESIGN PLANS.

EMERGENCY:

12. CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL, PLAN (SEE PLAN DRAWING AND WRITTEN DOCUMENTS) PRIOR TO COMMENCING WORK.
13. EROSION AND SEDIMENT CONTROL TO BE CONTROLLED ACCORDING TO THE NOVA SCOTIA DEPARTMENT OF ENVIRONMENT - EROSION AND SEDIMENTATION MANUAL.
14. SUSPECT AND MAJOR EROSION MEASURES DAILY TO ENSURE PROPER OPERATION. IMMEDIATELY CORRECT DAMAGED OR NON-FUNCTIONING DEVICES.
15. ALL EROSION CONTROL DEVICES AND CONSTRUCTION OF ALL SEDIMENT CONTROL BARRIERS TO CONFORM TO METR STANDARD SPECIFICATION FOR CONSTRUCTION AND MAINTENANCE LATEST EDITION.
16. WHERE APPLICABLE, ALL SOLVENT INSTALLATION WORK MUST CONFORM TO THE NOVA SCOTIA WATERCOURSE ALTERATION SPECIFICATIONS (2008).

CONSTRUCTION:

17. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH LANDSCAPE, ARCHITECTURAL, MECHANICAL, STRUCTURAL, AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES MUST BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
18. CONTRACTOR IS RESPONSIBLE FOR SETTING GRADES AND VERIFYING CONTROL.
19. IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL STOP RELATED WORK AND ADVISE THE ENGINEER IMMEDIATELY.
20. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING ANY CONSTRUCTION RELATED TO UNDERGROUND WORK.
21. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY PRIOR TO STARTING ANY CONSTRUCTION RELATED TO UNDERGROUND WORK.
22. ALL UNDERGROUND SERVICES, PIPES AND RELATED UTILITIES ARE NOT TO BE COVERED OVER OR BACKFILLED WITHOUT AUTHORIZATION FROM THE ENGINEER'S INSPECTOR REPRESENTATIVE. PILING COVERED OVER AND BACKFILLED WITHOUT THE DESIGN ENGINEER'S AUTHORIZATION WILL BE DEMOLISHED AND RE-INSTALLED AT THE CONTRACTOR'S EXPENSE.
23. CONDUCT WORK IN ACCORDANCE WITH OCCUPATIONAL HEALTH AND SAFETY REGULATIONS AND GUIDELINES.

PRODUCT SPECIFICATIONS:

24. NEW DOMESTIC WATER SERVICE TO BE INSTALLED WITH A MINIMUM OF 1.5m AND A MAXIMUM OF 2.0m OF COVER.
25. ALL SLOPES STEEPER THAN 2:1 TO BE COVERED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
26. EXISTING UNDERGROUND SERVICES AND RELATED UTILITIES ARE NOT TO BE COVERED OVER OR BACKFILLED WITHOUT AUTHORIZATION FROM THE ENGINEER'S INSPECTOR REPRESENTATIVE. PILING COVERED OVER AND BACKFILLED WITHOUT THE DESIGN ENGINEER'S AUTHORIZATION WILL BE DEMOLISHED AND RE-INSTALLED AT THE CONTRACTOR'S EXPENSE.
27. WATER LATERAL - MINIMUM 150mm.
28. SANITARY LATERAL - 150mm DUCT PVC.

VIEW PLAN

SECTION A-A

NOTES:

1. IF DRIVEWAY SURFACE IS SHOWN, THE SHALL BE APPROXIMATE CONCRETE.
2. FOR CONCRETE AND REINFORCING (REINFORCING PLATE 100 x 100 x 100mm, 100 x 100 x 100mm, 100 x 100 x 100mm) FROM BOTTOM OF CONCRETE PAVEMENT AND REINFORCING.
3. MINIMUM REINFORCING IS LESS THAN 1.5m OR WHEN THE SURFACE MEETS THE CURB OR OTHER SLOPE OR OTHERWISE AS A SINGLE LINE OR MORE THAN ONE LINE, REINFORCING SHALL BE PLACED THROUGH THE CURB AND INTO THE TRENCH.
4. MINIMUM SPACING BETWEEN JOINTS IS 100m. PROVIDE CONTROL JOINTS WITH 150mm OF CHANGE IN CROSS SECTION OF CURB.

REVISIONS:

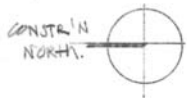
No.	Description	Date
1	ISSUED FOR REVIEW	1/10/2025
2	REVISED	1/10/2025

LOT 215 MAIN STREET

WOLFVILLE, NS
PID: 55372213

STORMWATER ANALYSIS PROPOSED

Project No:	Client:	Drawn:	Scale:
250115-13	LWEBER		5 of 5
Drawn:	Checked:	Project:	
	JPORTER		
Date:	Drawn:	Project:	
JANUARY 10, 2025	MA VIGENTIN		C500



CONSTRAIN
NORTH

S
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FH

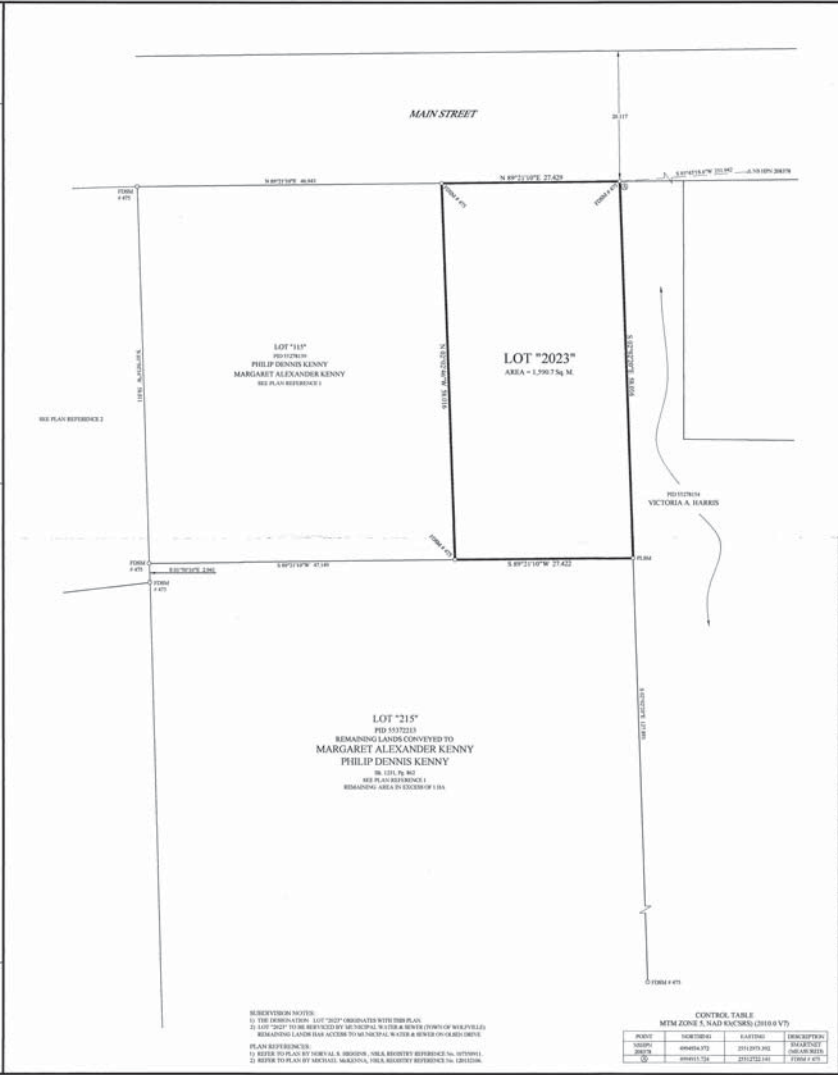


- relocated plants
- existing lawn
- new trees
- pea stone
- patio
- pathway and driveway

Landscape Plan
1:200

SINGLE FAMILY DWELLING @ LOT '2023' MAIN ST.
WOLFEVILLE N.S. FOR RYAN & PECKY VOKEY

Angela Morin, apala, csla, rhfac
Landscape Architect
Grand Pre, NS



KEY PLAN SCALE 1:5000

This final plan of subdivision is approved for Lot 2023 on Main Street within the Town of Wolfville.

Endorsed by:

Marcia Elliott
 Marcia Elliott, Development Officer
 Dated: January 24, 2023

FILE NO: 202-005-2025

ANNOB COUNTY LAND REGISTRY OFFICE
 Land Registry Division
 Chief Registrar
 123456789
 9-37
 1/24/23

ACTIVE SYMBOL	EXPLANATION	SYMBOL	ACTIVE SYMBOL	EXPLANATION	SYMBOL
...

ALL DIMENSIONS ARE BASED ON THE HORIZONTAL AXIS OF THE PLAN AND ARE REFERRED TO AS "HORIZONTAL DIMENSIONS".

ALL DISTANCES ARE MEASURED TO THE CENTER OF THE ROAD OR TO THE CENTER OF THE LOT.

ALL DISTANCES ARE MEASURED TO THE CENTER OF THE ROAD OR TO THE CENTER OF THE LOT.

PLAN OF SUBDIVISION SHOWING
 A PORTION OF LOT "215", LANDS CONVEYED TO
 PHILIP DENNIS KENNY &
 MARGARET ALEXANDER KENNY
 TO FORM
 LOT "2023"

MAIN STREET
 WOLFVILLE
 ANNOB COUNTY, NS

SCALE: 1:500

SURVEYED BY ERIC J. MORSE, NSLS
 FIELD SURVEYS WERE CARRIED OUT DURING THE PERIOD OF
 JANUARY 12, 2023 TO JANUARY 24, 2023

SURVEYOR'S CERTIFICATE
 I, Eric J. Morse, Nova Scotia Land Surveyor, hereby certify that the survey represented by this plan was conducted under my supervision and that the survey and plan were made in accordance with the Land Surveyor's Act, regulations and standards made thereunder.

Dated this 15th day of February, 2023.

Eric J. Morse, NSLS

DeWOLFE & MORSE SURVEYING LIMITED
 P.O. BOX 520 MIDDLETON
 ANNOB COUNTY, N.S.
 B0B - 1P0
 Email: wolf@dwolfemorse.ca

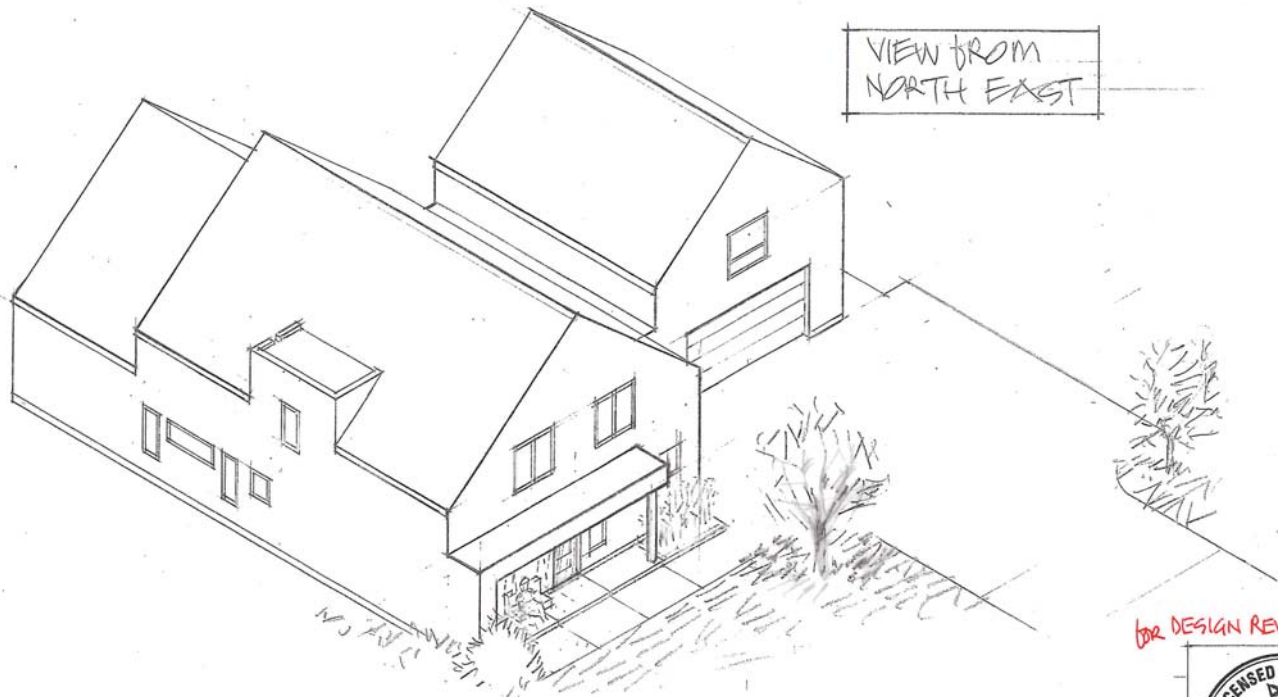
PLAN No: 2022-008P DRAFTED ON FEBRUARY 10, 2023 NO: 70217

RESUBDIVISION NOTES:
 1) THE DIMENSIONS: LOT "2023" INDICATED WITH DASH PLAN.
 2) LOT "2023" IS TO BE USED AS A RESUBDIVISION OF LOT "215" WITHIN THE TOWN OF WOLFVILLE.
 3) THE DIMENSIONS: LOT "215" ARE TO BE USED AS A RESUBDIVISION OF LOT "215" WITHIN THE TOWN OF WOLFVILLE.
 4) THE DIMENSIONS: LOT "2023" ARE TO BE USED AS A RESUBDIVISION OF LOT "215" WITHIN THE TOWN OF WOLFVILLE.

PLAN REFERENCES:
 1) REFER TO PLAN BY VICTORIA A. HAINES, NSLS REGISTRY REFERENCE NO. 2022-010.
 2) REFER TO PLAN BY VICTORIA A. HAINES, NSLS REGISTRY REFERENCE NO. 2022-011.

CONTROL TABLE
 METRIC ZONE 5, NAD 83 (NARS) (2011 & 17)

POINT	COORDINATES	STATUS	DESCRIPTION
1000	5000000.00	CONTROL	MARKER
1001	5000000.00	CONTROL	MARKER
1002	5000000.00	CONTROL	MARKER
1003	5000000.00	CONTROL	MARKER
1004	5000000.00	CONTROL	MARKER



VIEW FROM
NORTH EAST

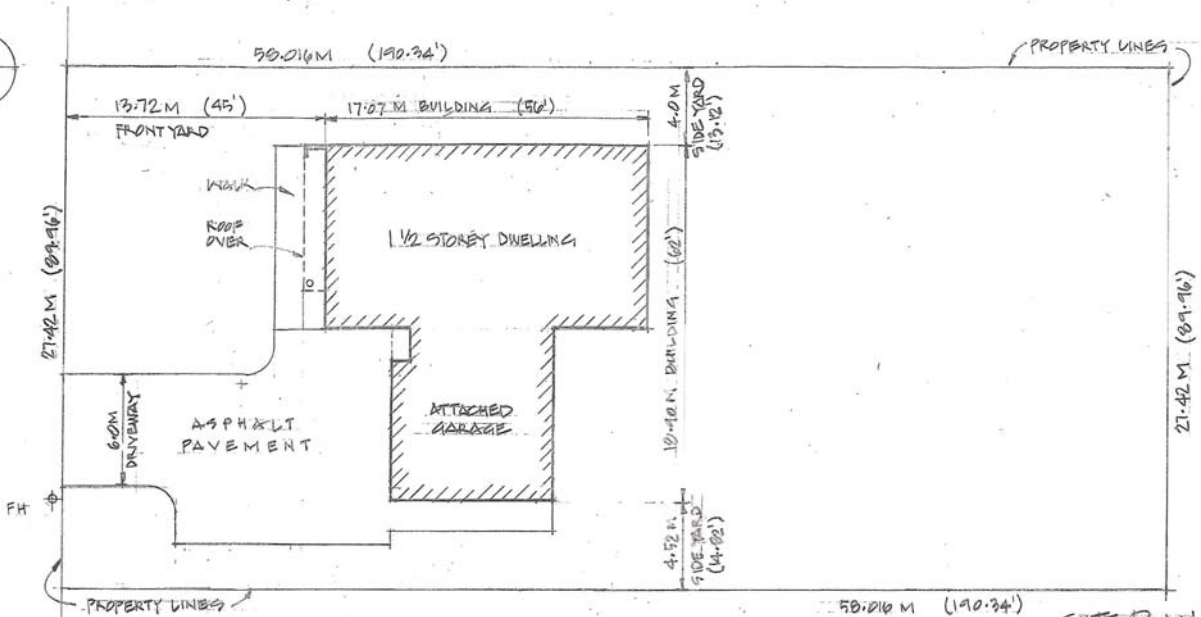
SINGLE FAMILY DWELLING ON LOT '2023' MAIN ST.
WOLFVILLE N.S. FOR RYAN & PEGGY VOKEY

FOR DESIGN REVIEW ONLY





M A I N S T R E E T



SURVEY INFORMATION TAKEN FROM
 PLAN OF SUBDIVISION SHOWING A
 PORTION OF LOT 215 TO FORM
 LOT 2023 MAIN ST. WOLFVILLE
 PREPARED BY
 DE WOLFE & MORSE SURVEYING LTD
 PLAN NO. 2022-469 P
 DRAFTED ON FEB. 10, 2023

MIN. SETBACK REQS.	
FRONT YARD	4.5 m
REAR YARD	4.0 m
SIDE YARD	2.0 m
FLANKAGE YARD	4.0 m

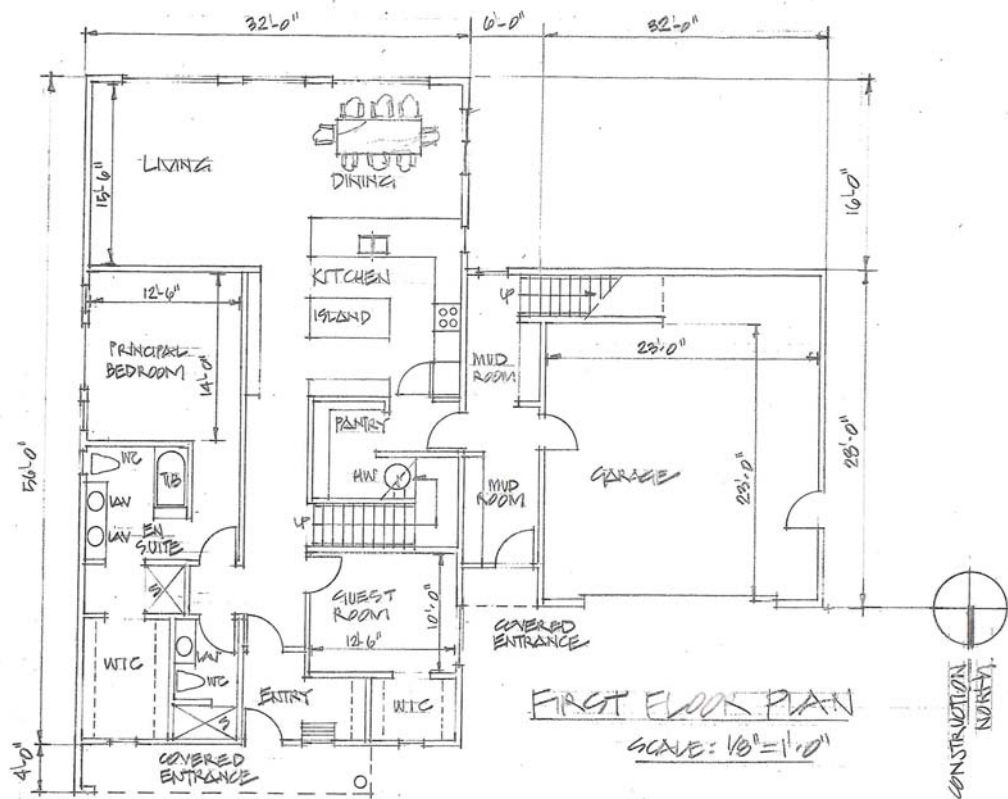
DEVELOPMENT DETAILS		R2 ZONING
LOT AREA = 1090.7 m ²		
BUILDING COVERAGE = 242.84 m ²	LOT COVERAGE = 19.26%	
FIRST FLOOR AREA = 166.48 m ²	1792 F	
SECOND " " = 118.91 m ²	1280 F	
TOTAL FLOOR AREA = 285.39 m ²	3072 F	
GARAGE & MUD R ^m = 76.36 m ²	822 F	

SINGLE FAMILY DWELLING @ LOT '2023' MAIN ST.
 WOLFVILLE N.S. FOR RYAN & PEGGY VOKEY

SITE PLAN
 SCALE: 1:200

FOR DESIGN REVIEW ONLY

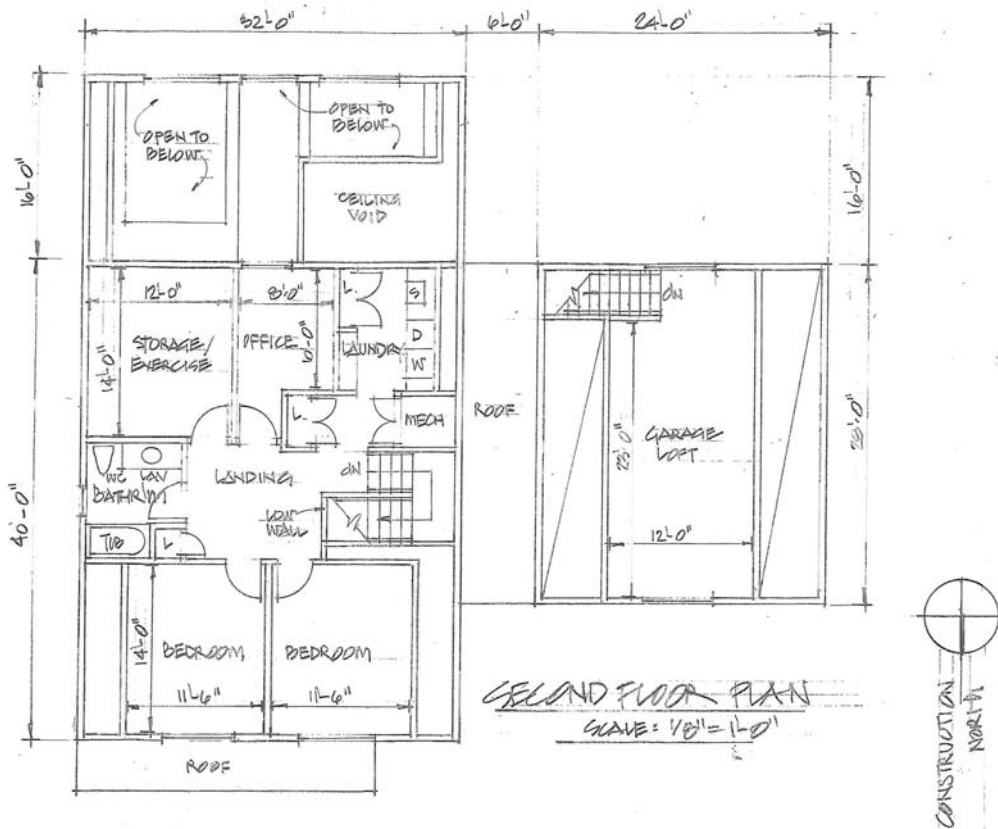




SINGLE FAMILY DWELLING @ LOT 2023 MAIN ST,
 WOLFVILLE NS. FOR RYAN & PECCY VOKEY

FOR DESIGN REVIEW ONLY

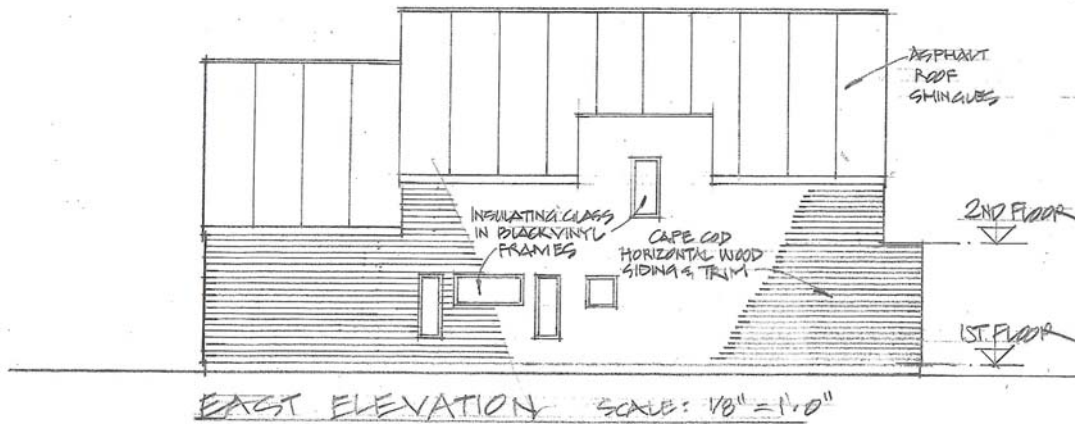




SINGLE FAMILY DWELLING @ LOT 2023 MAIN ST,
 WOLFVILLE N.S. FOR RYAN & PEGGY VOKEY

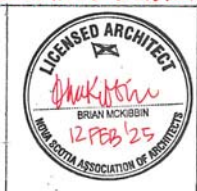
FOR DESIGN REVIEW ONLY





SINGLE FAMILY DWELLING @ VOT '2023' MAIN ST.
 WOLFFVILLE, N.S. FOR RYAN & PEGGY VOKEY

FOR DESIGN REVIEW ONLY





SINGLE FAMILY DWELLING @ LOT 2023 MAIN ST,
 WOLFVILLE N.S. FOR RYAN & PEGGY VOKEY

FOR DESIGN REVIEW ONLY



Site Plan Approval – Criteria Checklist

APPLICATION: SP-003-2025 – Lot 2023 Main Street – Single Unit Dwelling	
Land Use Bylaw Reference	Staff Comments
2.10 Submission Requirements	Application requirements met.
Zone Standards: Part 10 Low Density Residential – General (R-2) Permitted Use Table 8.1	Single Unit Dwelling is a permitted use in the R-2 zone.
Design Guidelines: This property is located in the Core Neighbourhood Design Guidelines Area LUB 8.2(2).	New construction in a Design Guidelines Area permitted by Site Plan Approval.
Part 6 Parking Parking is calculated using table 6.1 1.25 space per dwelling unit plus additional ½ space for bedrooms in excess of three.	Single unit with four bedrooms - 1.25 plus ½ space = 1.75 rounds down to 1 parking space required.
Site Plan Approval Requirements:	
1. <i>The location of new structures on the lot shall minimize negative impacts on the surrounding neighbourhood, including noise, dust, fumes, lighting, shadows, or other nuisance or inconvenience to neighbouring properties;</i>	No negative impacts are anticipated.
2. <i>The location of off-street parking and loading facilities shall minimize negative impacts on the surrounding neighbourhood, including traffic, noise, dust, fumes, lighting, or other nuisance or inconvenience to neighbouring properties;</i>	No negative impacts are anticipated.
3. <i>The location, number and width of driveways are designed to prevent traffic, noise, dust, fumes, congestion, or other nuisance and inconvenience in the area and minimize negative impacts on the surrounding neighbourhood;</i>	No negative impacts are anticipated.

Site Plan Approval – Criteria Checklist

<p>4. <i>The type, location, and height of walls, fences, hedges, trees, shrubs, ground cover or other landscaping elements which is necessary to protect and minimize negative land use impact on neighbouring properties;</i></p>	<p>Proposed landscaping is in keeping with the Land Use Bylaw requirements.</p>
<p>5. <i>Existing vegetation shall be retained where the vegetation is healthy and helps to minimize negative impacts on the surrounding neighbourhood;</i></p>	<p>Existing vegetation to be retained as much as possible.</p>
<p>6. <i>The location of pedestrian walkways, and/or related infrastructure, shall be provided to link public sidewalks and parking areas to entrances of all primary buildings;</i></p>	<p>N/A</p>
<p>7. <i>The type and location of outdoor lighting is designed to light the structure, driveways and pedestrian infrastructure, but shall not be directed onto neighbouring properties;</i></p>	<p>Any new out lighting will be designed in compliance with the Land Use Bylaw.</p>
<p>8. <i>The location of facilities for the storage of solid waste provides for maximum separation from residential development and public areas;</i></p>	<p>N/A</p>
<p>9. <i>The location of all existing easements shall be identified;</i></p>	<p>N/A</p>
<p>10. <i>The grading or alteration in elevation or contour of the land shall minimize undue erosion and/or sedimentation, and other negative impacts on neighbouring properties;</i></p>	<p>Site grading plan has been submitted and approved by the Town Engineer.</p>
<p>11. <i>The management of storm and surface water is addressed, and associated plans are approved by the Town Engineer;</i></p>	<p>Stormwater management plan has been submitted and approved by the Town Engineer.</p>
<p>12. <i>The type, location number and size of signs or sign structures do not negatively alter the appearance of the streetscape or neighbourhood;</i></p>	<p>N/A</p>

Site Plan Approval – Criteria Checklist

<i>13. All signage shall be designed and constructed according to the signage requirements listed in Part 7;</i>	N/A
<i>14. Developments located in a Design Guidelines Area shall adhere to the design guidelines listed in Schedule "F" Town of Wolfville Design Guidelines. Input from the Design Review Committee may be required.</i>	Design elements are in keeping with the Design Guidelines.
<i>15. The Development Officer may vary any of the prescriptive dimensional requirements by up to 10 percent of the requirements to allow some flexibility to accommodate physical anomalies of a site, so long as the intent of the particular requirement is not compromised.</i>	N/A