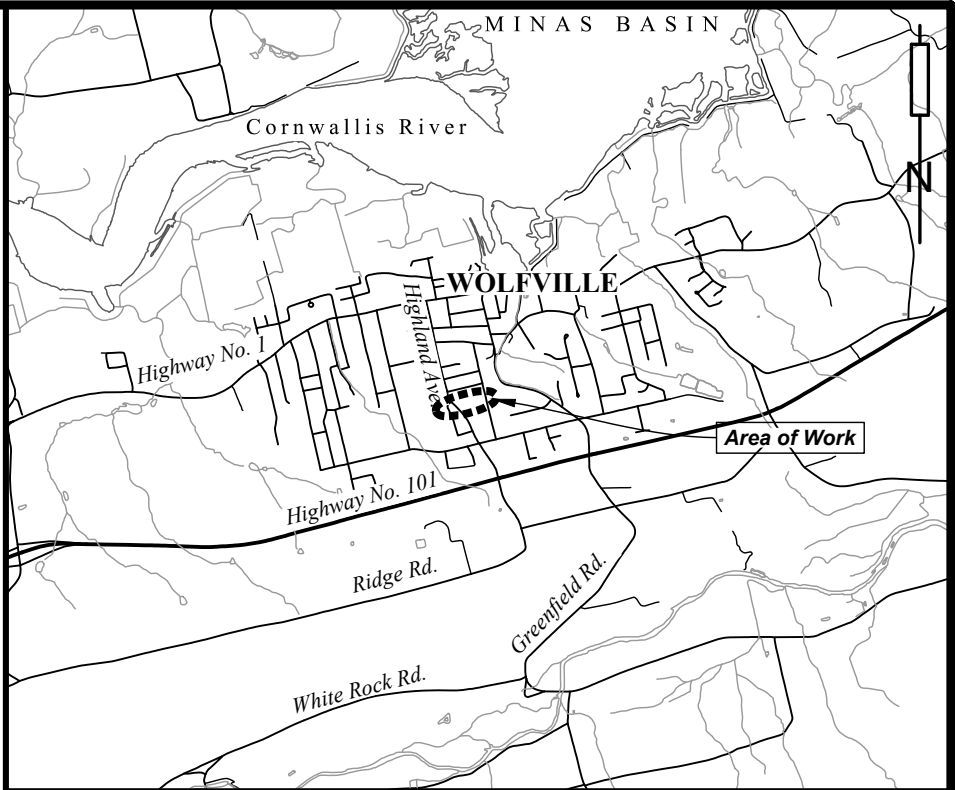
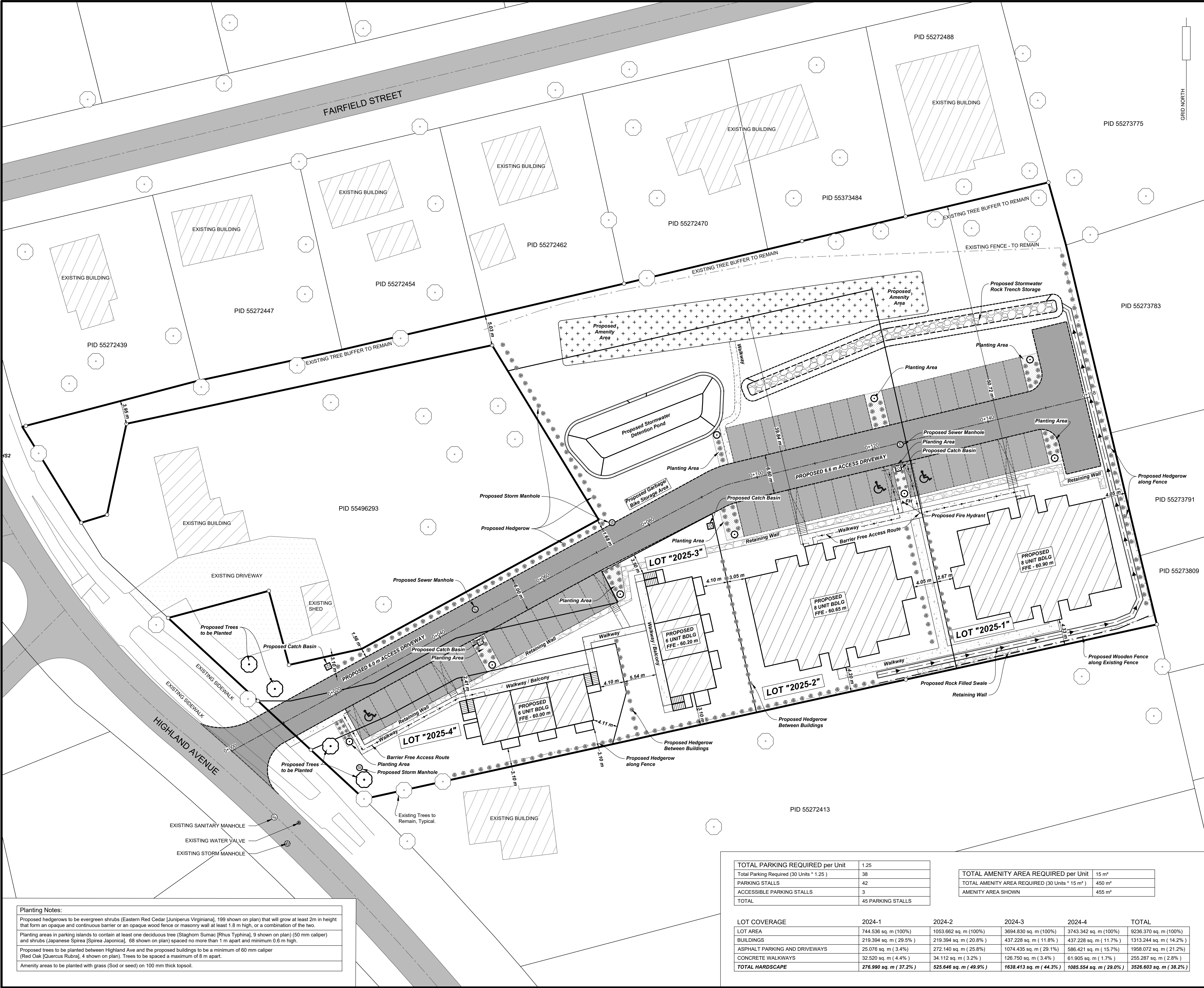




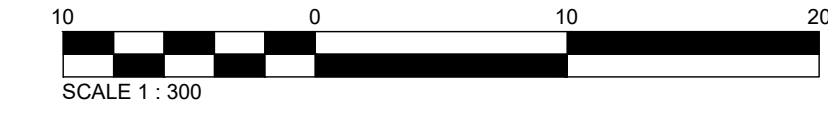
REVISIONS

5. REISSUED FOR SITE PLAN APPROVAL - OCTOBER 10, 2025
4. REISSUED FOR SITE PLAN APPROVAL - SEPTEMBER 29, 2025
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1. ISSUED FOR CLIENT REVIEW - DECEMBER 19, 2024

CONTROL TABLE				
MTM ZONE 5, NAD 83(CSRS) (2010.0 V7)				
POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
ACS 250001	4991038.243	25489680.532	45.182	SMARTMET (PUBLISHED)

LEGEND	
BEGINNING OF VERTICAL CURVE	BVC
END OF VERTICAL CURVE	EVC
POINT OF VERTICAL INTERSECTION	PVI
FINISHED GRADE	FG
CALCULATED	C
POINT OF CURVATURE	PC
POINT OF COMPOUND CURVATURE	PCC
CHORD	CH
MANHOLE (SANITARY)	MHS
MANHOLE (STORM)	MHST
CATCH BASIN	CB
SILUICE BOX / CATCH PIT	SB/CP
FIRE HYDRANT	FH
WATER VALVE	WV
CALCULATED POINT	CP
UTILITY POLE	UP
RIGHT OF WAY	ROW
NOT TO SCALE	NTS
ELEVATION (FINISHED GRADE)	+1.73
OVERHEAD WIRES	OHW
ELEVATION (EXISTING)	+7.63
PROPERTY LINE	PL
AREA TO BE FILLED	AREA TO BE FILLED
SILT FENCE	SILT FENCE

HIGHLAND AVENUE DEVELOPMENT
PLAN SHOWING
SITE LAYOUT
KENT FIELDS ESTATES LTD.
HIGHLAND AVENUE, WOLFVILLE
KINGS COUNTY, NS



PLAN SCALE 1:300
DESIGNED BY PETER L. SNOW, P.ENG.



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ANNAPOLIS COUNTY, N.S.
B0S - 1P0
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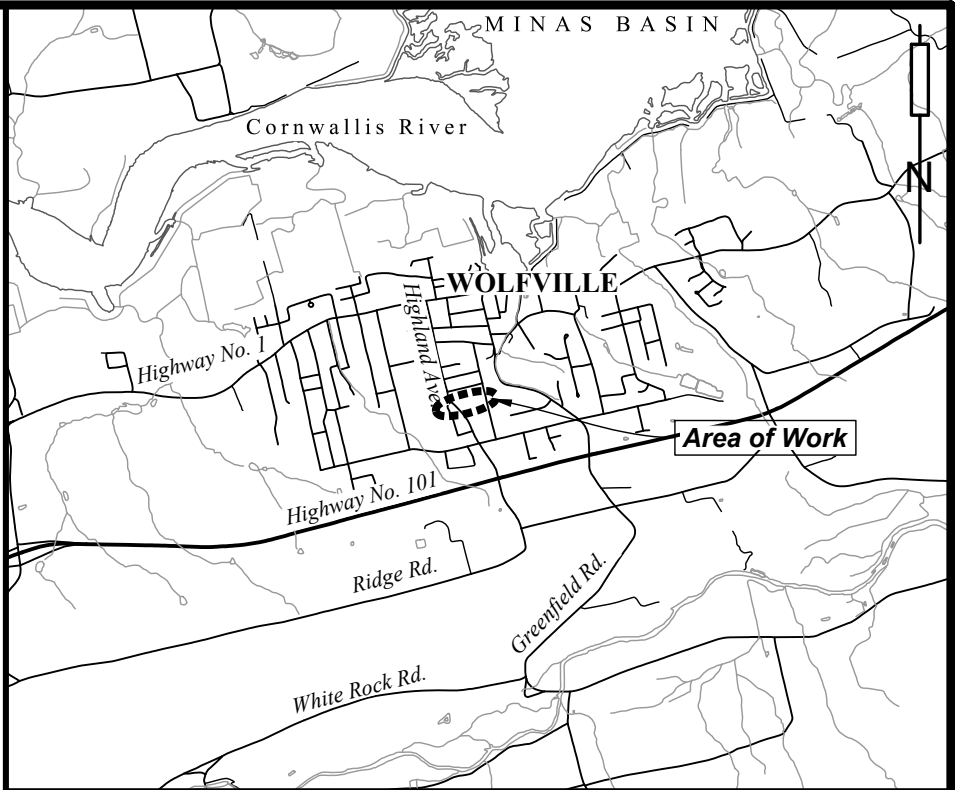
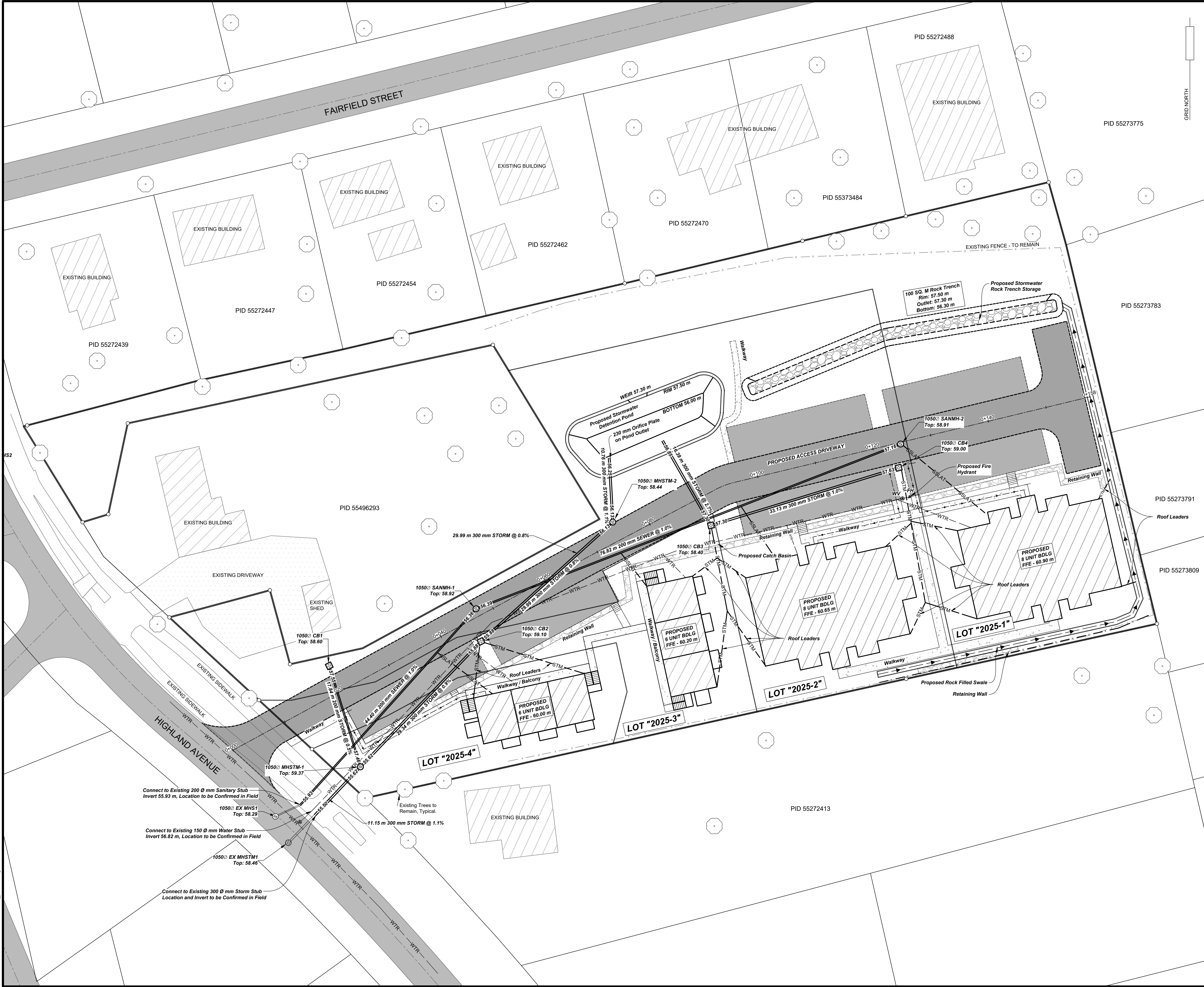
DRAFTED ON: FEBRUARY 12, 2024
PLAN No: 2023-404-1 SITEPLAN
SHEET 1 of 7

Planting Notes:
Proposed hedgerows to be evergreen shrubs (Eastern Red Cedar [Juniperus Virginiana], 199 shown on plan) that will grow at least 2m in height that form an opaque and continuous barrier or an opaque wood fence or masonry wall at least 1.8 m high, or a combination of the two.
Planting areas in parking islands to contain at least one deciduous tree (Staghorn Sumac [Rhus Typhina], 9 shown on plan) (50 mm caliper) and shrubs (Japanese Spirea [Spirea Japonica], 68 shown on plan) spaced no more than 1 m apart and minimum 0.6 m high.
Proposed trees to be planted between Highland Ave and the proposed buildings to be a minimum of 60 mm caliper (Red Oak [Quercus Rubra], 4 shown on plan). Trees to be spaced a maximum of 8 m apart.
Amenity areas to be planted with grass (Sod or seed) on 100 mm thick topsoil.

TOTAL PARKING REQUIRED per Unit	1.25
Total Parking Required (30 Units * 1.25)	38
PARKING STALLS	42
ACCESSIBLE PARKING STALLS	3
TOTAL	45 PARKING STALLS

TOTAL AMENITY AREA REQUIRED per Unit	15 m²
TOTAL AMENITY AREA REQUIRED (30 Units * 15 m²)	450 m²
AMENITY AREA SHOWN	455 m²

LOT COVERAGE	2024-1	2024-2	2024-3	2024-4	TOTAL
LOT AREA	744.536 sq. m (100%)	1053.662 sq. m (100%)	3694.830 sq. m (100%)	3743.342 sq. m (100%)	9236.370 sq. m (100%)
BUILDINGS	219.394 sq. m (29.5%)	219.394 sq. m (20.8%)	437.228 sq. m (11.8%)	437.228 sq. m (11.7%)	1313.244 sq. m (14.2%)
ASPHALT PARKING AND DRIVEWAYS	25.076 sq. m (3.4%)	272.140 sq. m (25.8%)	1074.435 sq. m (29.1%)	586.421 sq. m (15.7%)	1958.072 sq. m (21.2%)
CONCRETE WALKWAYS	32.520 sq. m (4.4%)	34.112 sq. m (3.2%)	126.750 sq. m (3.4%)	61.905 sq. m (1.7%)	255.287 sq. m (2.8%)
TOTAL HARDSCAPE	276.990 sq. m (37.2%)	525.646 sq. m (49.9%)	1638.413 sq. m (44.3%)	1085.554 sq. m (29.0%)	3526.603 sq. m (38.2%)



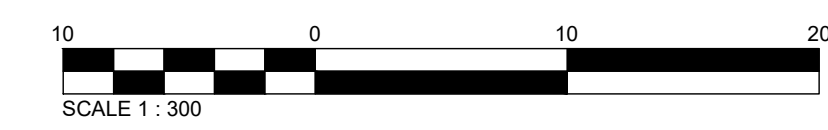
REVISIONS

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POINT OF VERTICAL INTERSECTION	PVI
FINISHED GRADE	FG
CALCULATED	C
POINT OF CURVATURE	PC
POINT OF COMPOUND CURVATURE	PCC
CHORD	CH
MANHOLE (SANITARY)	MHS
MANHOLE (STORM)	MHST
CATCH BASIN	CB
SILUICE BOX / CATCH PIT	SB/CP
FIRE HYDRANT	FH
WATER VALVE	WV
CALCULATED POINT	CP
UTILITY POLE	UP
RIGHT OF WAY	ROW
NOT TO SCALE	NTS
ELEVATION (FINISHED GRADE)	FTG
OVERHEAD WIRES	OHW
ELEVATION (EXISTING)	EX
PROPERTY LINE	PL
AREA TO BE FILLED	AF
SILT FENCE	SF

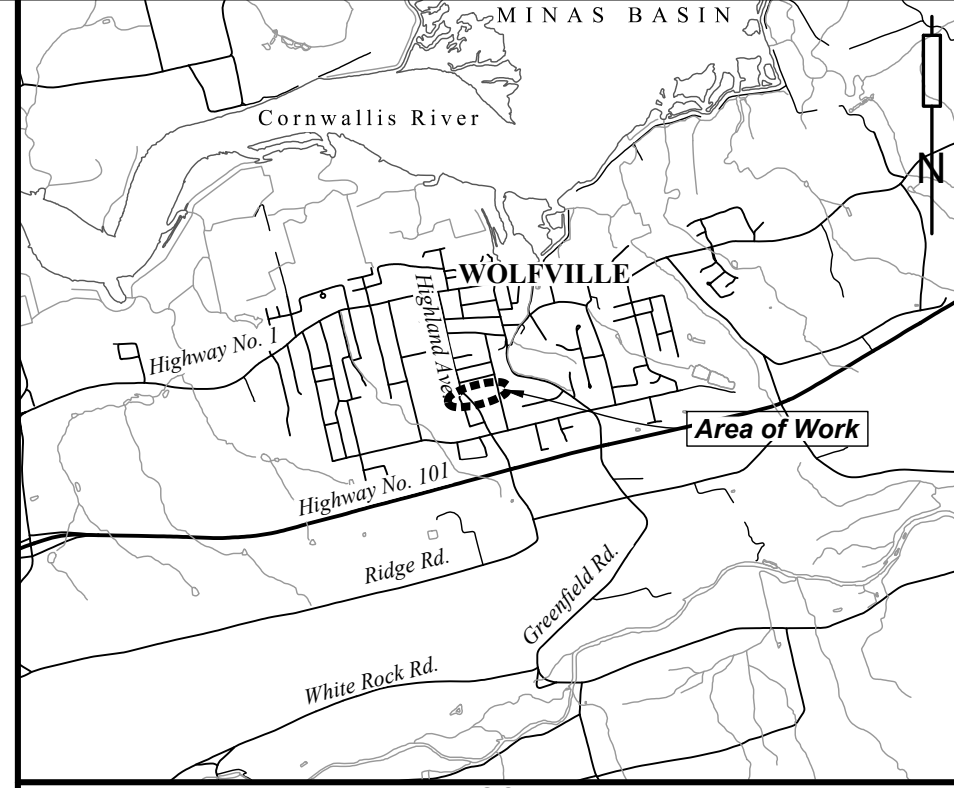
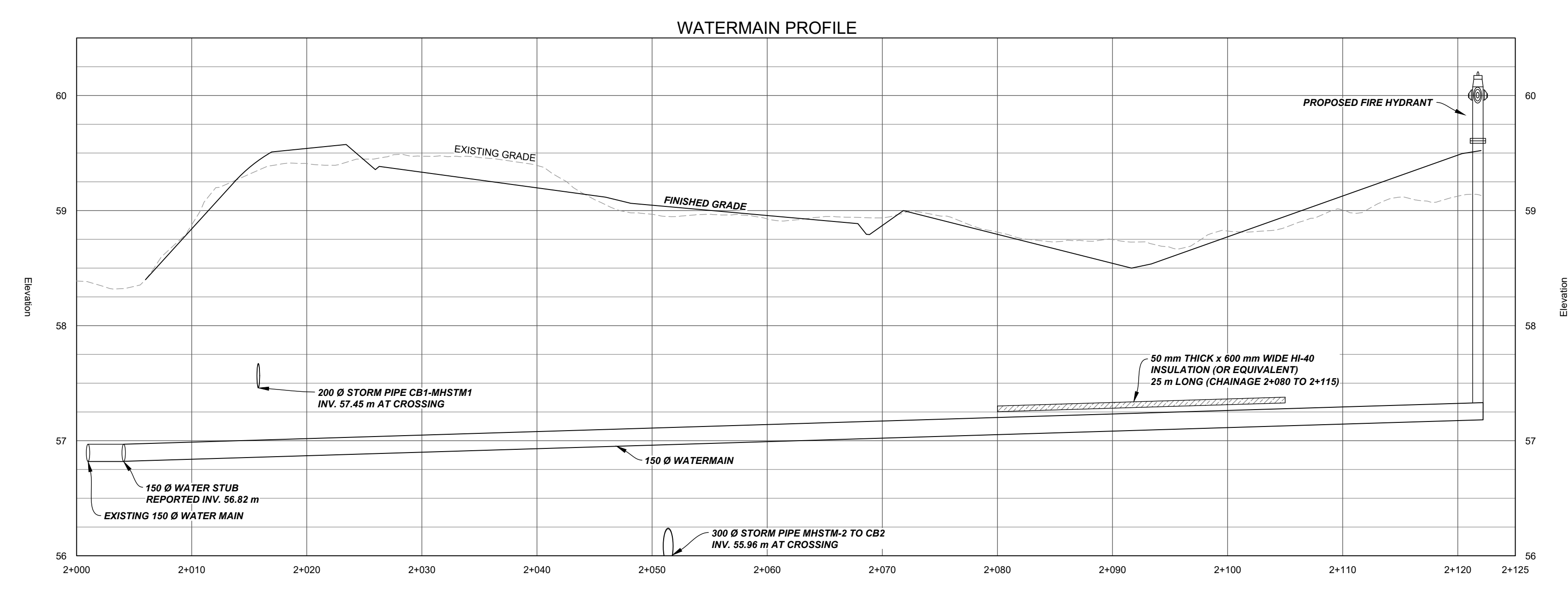
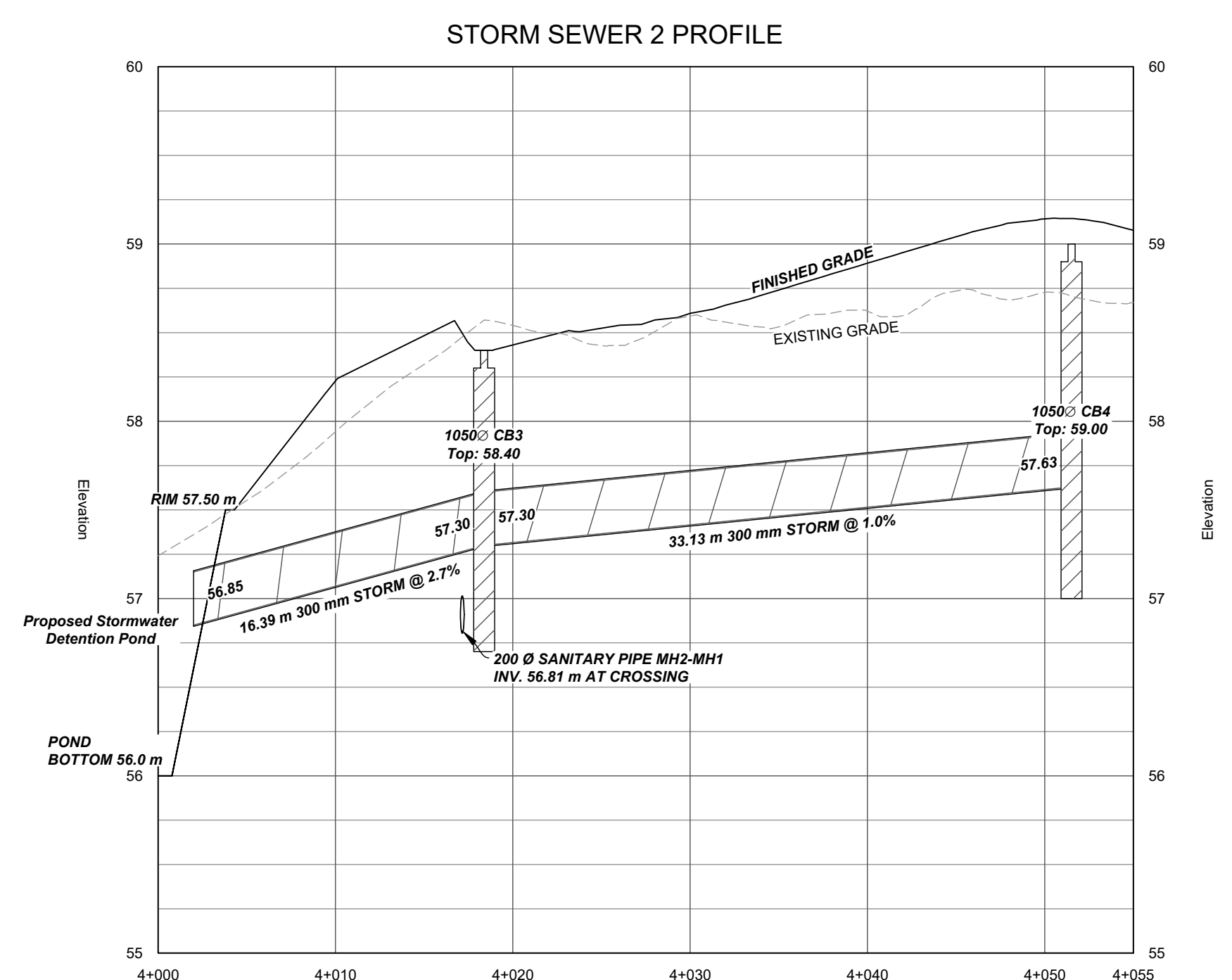
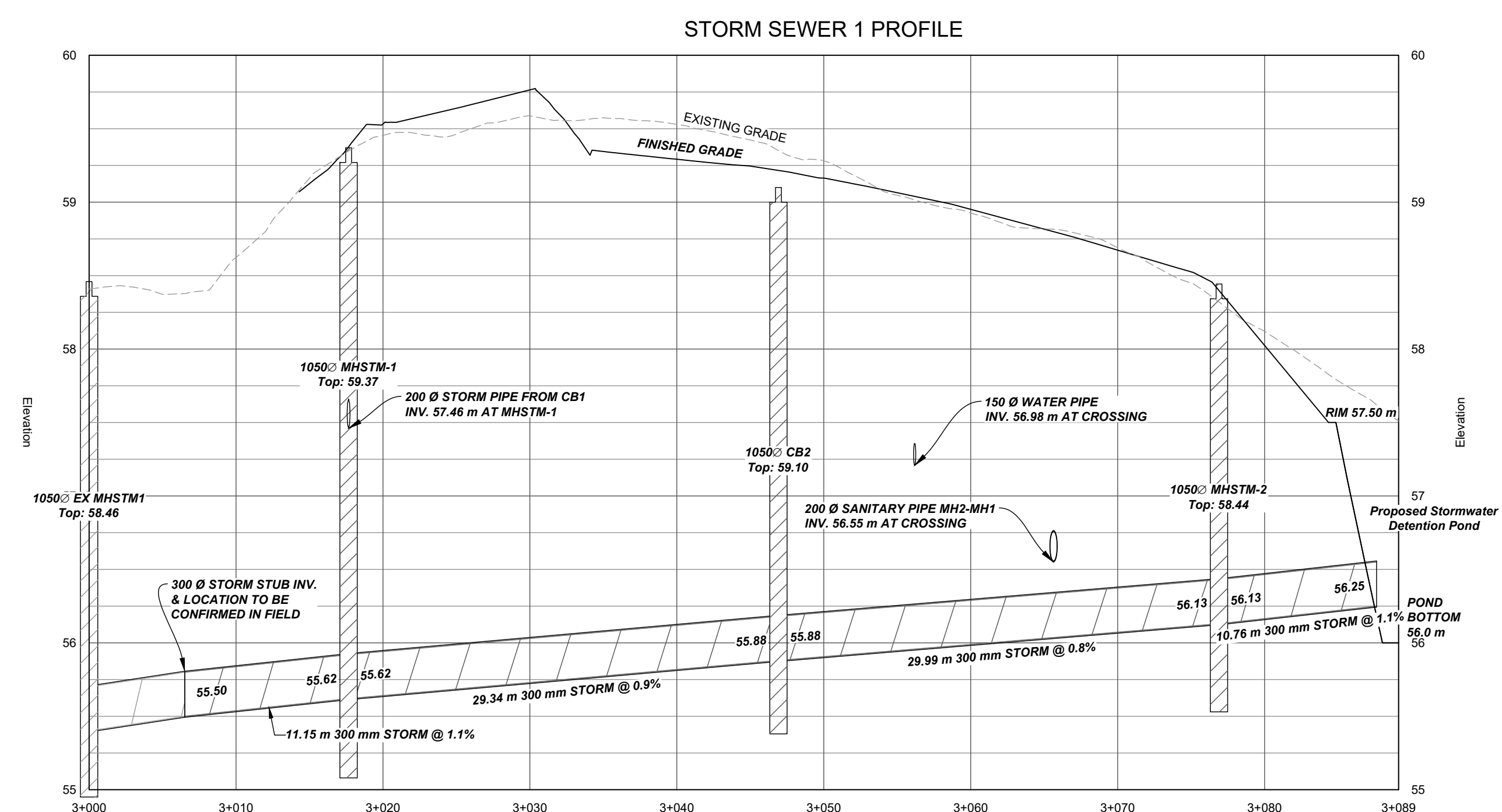
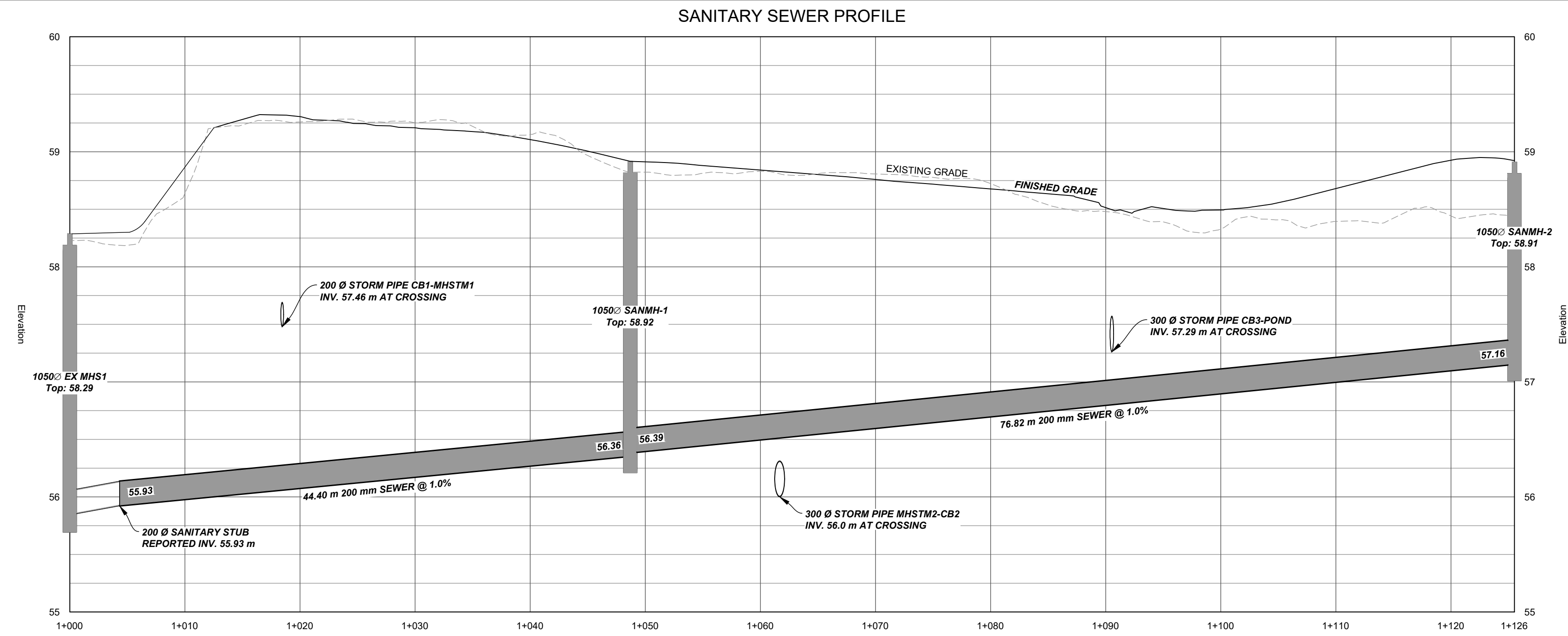
HIGHLAND AVENUE DEVELOPMENT
PLAN SHOWING
GENERAL SERVICING
KENT FIELDS ESTATES LTD.
HIGHLAND AVENUE, WOLFVILLE
KINGS COUNTY, NS



PLAN SCALE 1:300
DESIGNED BY PETER L. SNOW, P.ENG.



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REVISIONS

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FINISHED GRADE		FG
CALCULATED		C
POINT OF CURVATURE		PC
POINT OF COMPOUND CURVATURE		PCC
CHORD	.....	CH
MANHOLE (SANITARY)	.....	MHS
MANHOLE (STORM)	.....	MHST
CATCH BASIN	.....	CB
SILUICE BOX / CATCH PIT	.....	SB/CP
FIRE HYDRANT	.....	FH
WATER VALVE	.....	WV
CALCULATED POINT	.....	CP
UTILITY POLE	.....	UP
RIGHT OF WAY	.....	ROW
NOT TO SCALE	.....	NTS
ELEVATION (FINISHED GRADE)	.....	FG
OVERHEAD WIRES	.....	OHW
ELEVATION (EXISTING)	.....	EX
PROPERTY LINE	.....	PL
AREA TO BE FILLED	.....	AF
SILT FENCE		SF

HIGHLAND AVENUE DEVELOPMENT

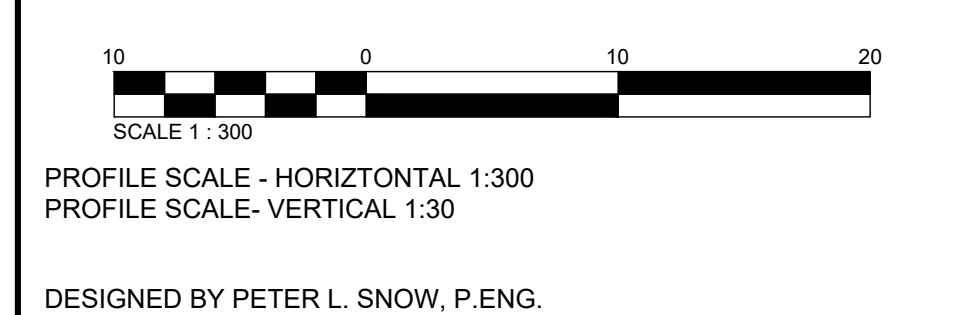
SHOWING

STORM, SANITARY & WATER PROFILES

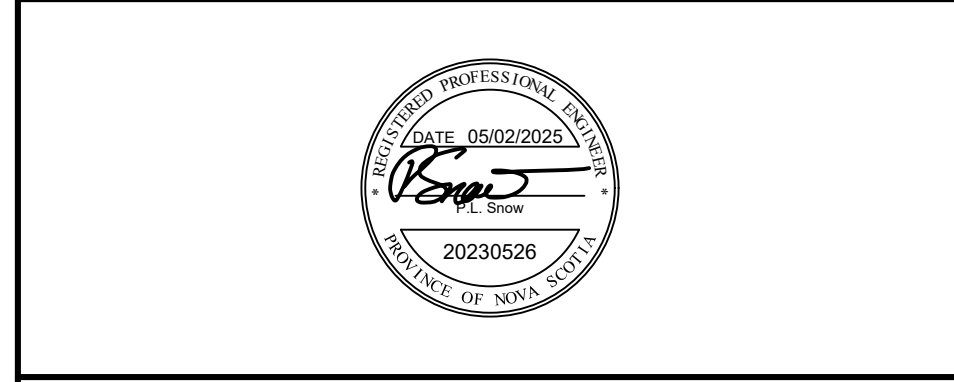
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HIGHLAND AVENUE, WOLFVILLE

KINGS COUNTY, NS



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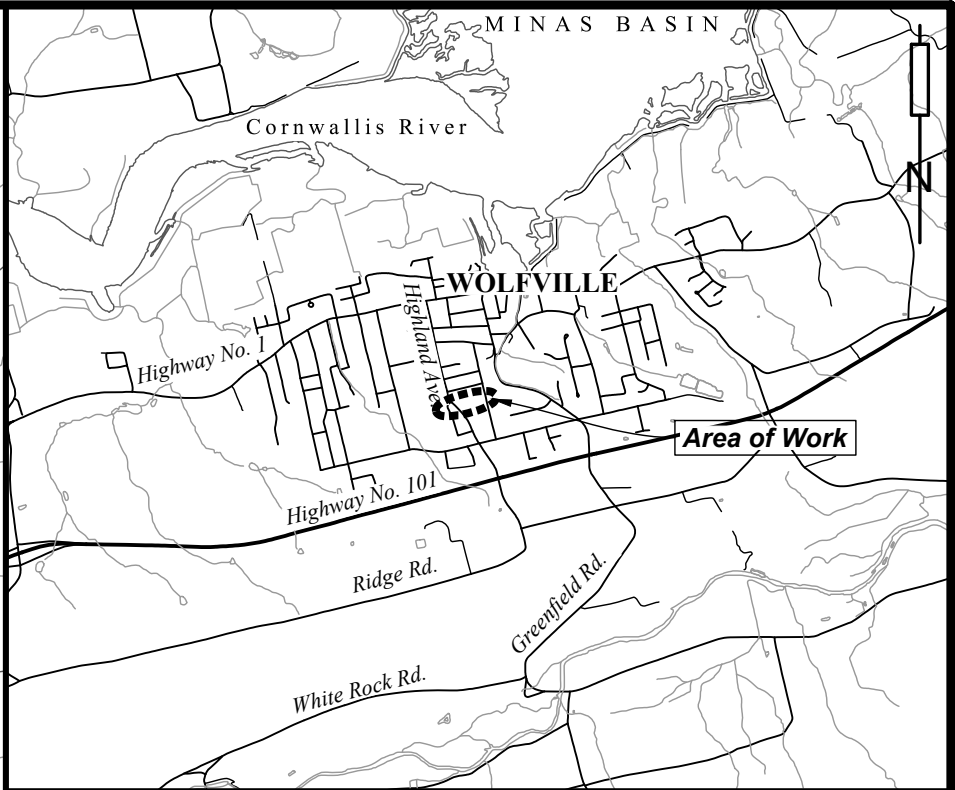
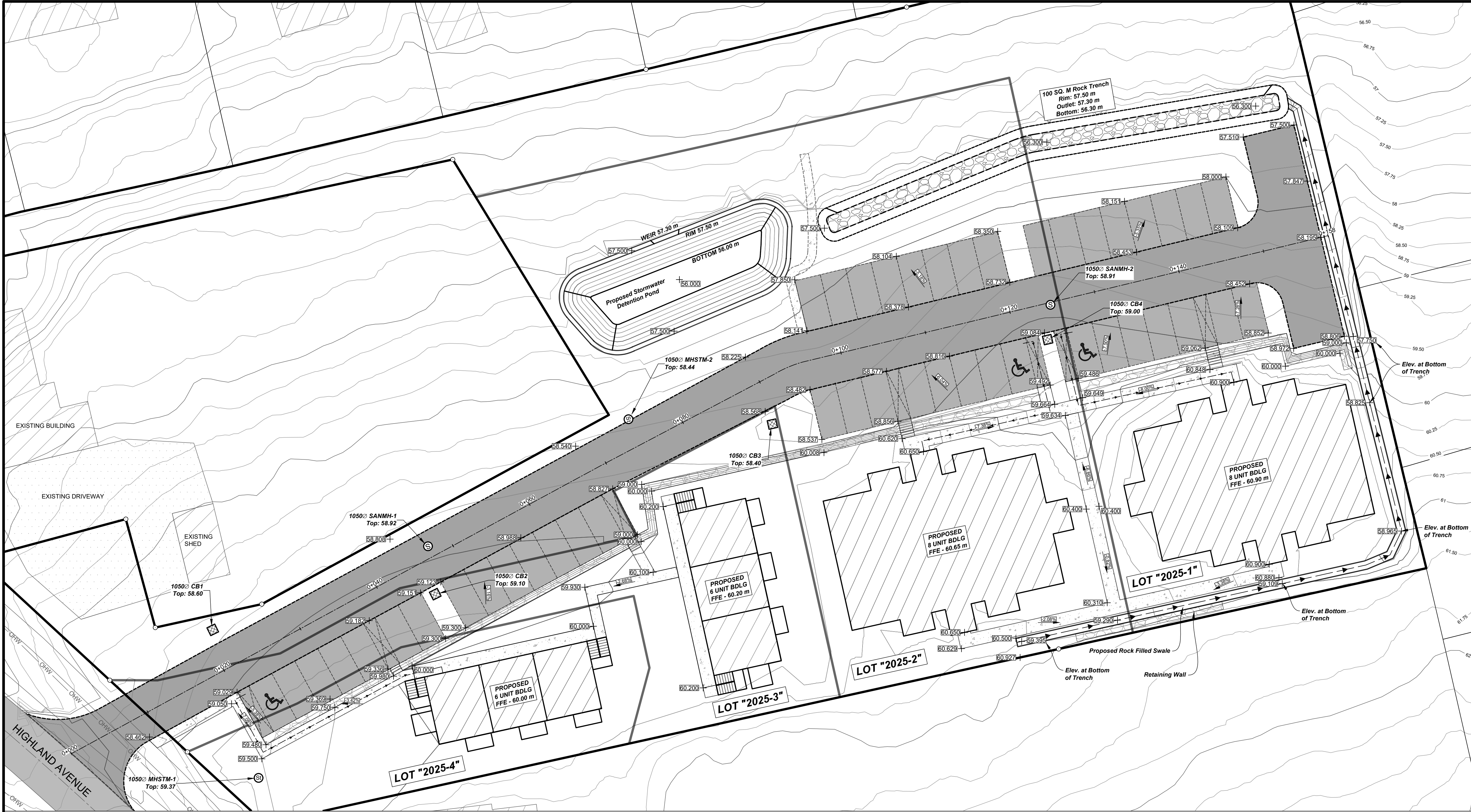
DeWOLFE & MORSE SURVEYING LIMITED

P.O. BOX 520 MIDDLETON

ANNAPOLIS COUNTY, N.S.

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REVISIONS

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FINISHED GRADE	FG
CALCULATED	C
POINT OF CURVATURE	PC
POINT OF COMPOUND CURVATURE	PCC
CHORD	CH
MANHOLE (SANITARY)	MHS
MANHOLE (STORM)	MHST
CATCH BASIN	CB
SILUICE BOX / CATCH PIT	SB/CP
FIRE HYDRANT	FH
WATER VALVE	WV
CALCULATED POINT	CP
UTILITY POLE	UP
RIGHT OF WAY	ROW
NOT TO SCALE	NTS
ELEVATION (FINISHED GRADE)	FG
OVERHEAD WIRES (EXISTING)	OHW
PROPERTY LINE	PL
AREA TO BE FILLED	AREA TO BE FILLED
SILT FENCE	SILT FENCE

HIGHLAND AVENUE DEVELOPMENT

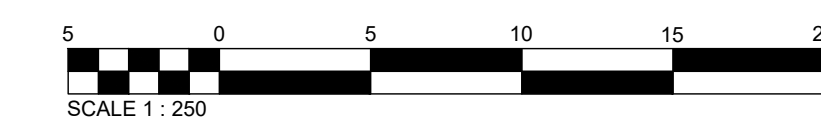
PLAN SHOWING

GRADING

KENT FIELDS ESTATES LTD.

HIGHLAND AVENUE, WOLFVILLE

KINGS COUNTY, NS



PROFILE SCALE - HORIZONTAL 1:250
PROFILE SCALE - VERTICAL 1:25
PLAN SCALE 1:250

DESIGNED BY PETER L. SNOW, P.ENG.



DeWOLFE & MORSE SURVEYING LIMITED

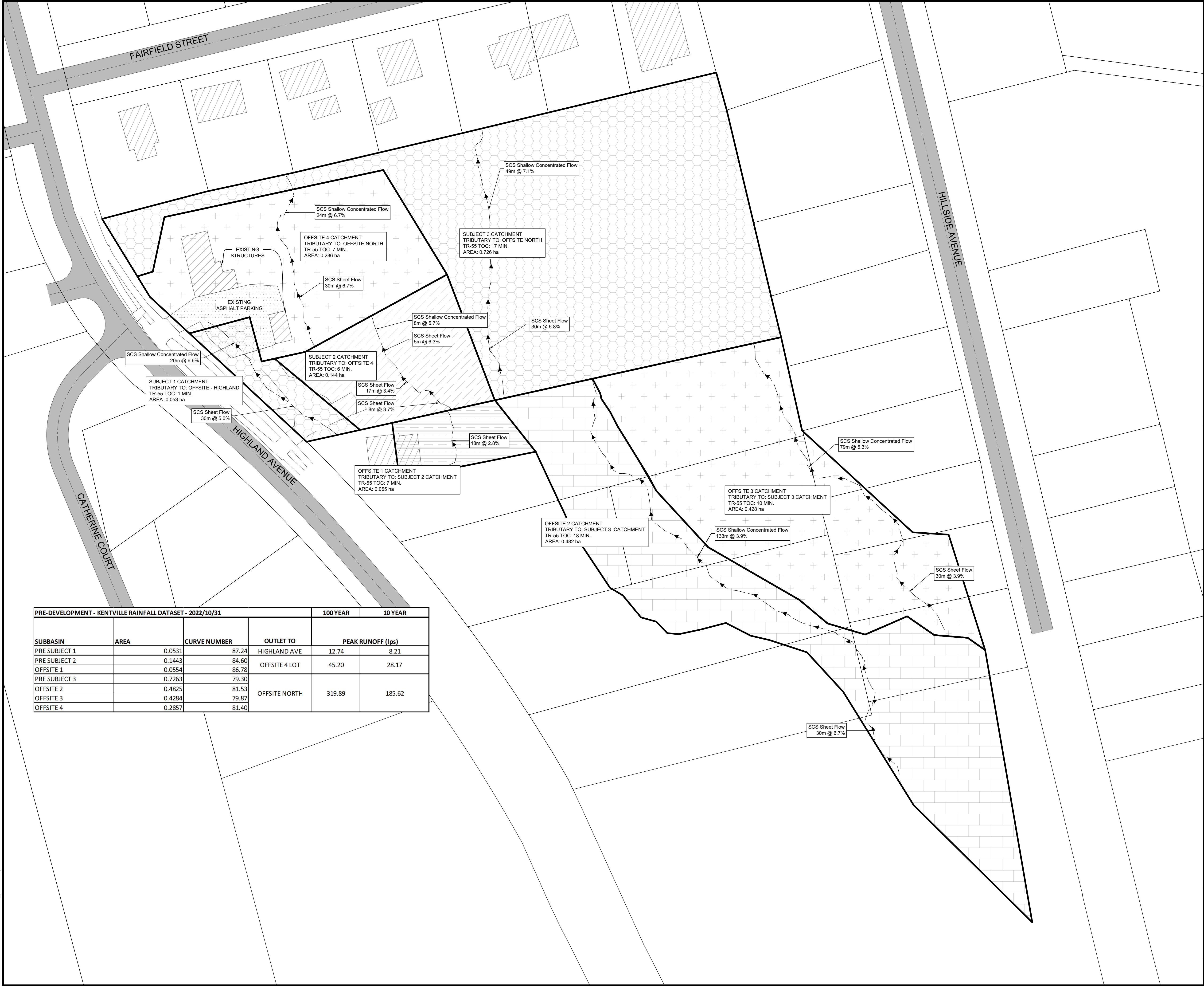
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DRAFTED ON: FEBRUARY 12, 2024

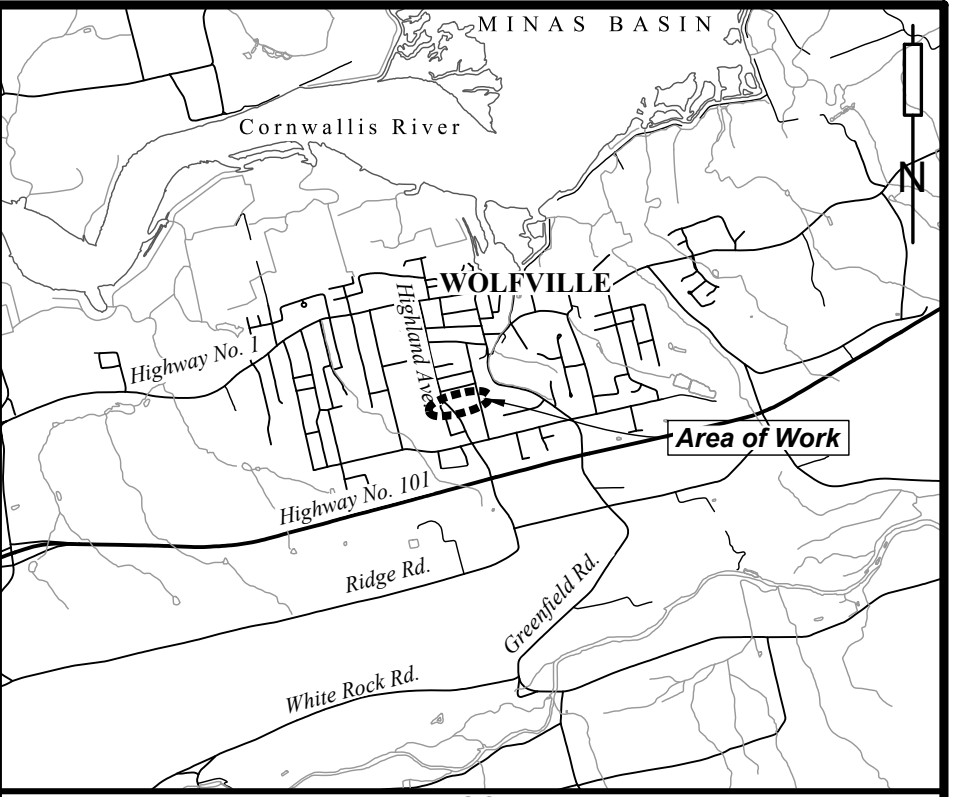
PLAN No: 2023-404-3 GRADING

SHEET 4 of 7

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PRE-DEVELOPMENT - KENTVILLE RAINFALL DATASET - 2022/10/31				100 YEAR	10 YEAR
SUBBASIN	AREA	CURVE NUMBER	OUTLET TO	PEAK RUNOFF (lps)	
PRE SUBJECT 1	0.0531	87.24	HIGHLAND AVE	12.74	8.21
PRE SUBJECT 2	0.1443	84.60	OFFSITE 4 LOT	45.20	28.17
OFFSITE 1	0.0554	86.78			
PRE SUBJECT 3	0.7263	79.30			
OFFSITE 2	0.4825	81.53			
OFFSITE 3	0.4284	79.87	OFFSITE NORTH	319.89	185.62
OFFSITE 4	0.2857	81.40			



REVISIONS

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CALCULATED	C
POINT OF CURVATURE	PC
POINT OF COMPOUND CURVATURE	PCC
CHORD	CH
MANHOLE (SANITARY)	MHS
MANHOLE (STORM)	MHST
CATCH BASIN	CB
SILUICE BOX / CATCH PIT	SB/CP
FIRE HYDRANT	FH
WATER VALVE	WV
CALCULATED POINT	CP
UTILITY POLE	UP
RIGHT OF WAY	ROW
NOT TO SCALE	NTS
ANCHOR	ANCH
OVERHEAD WIRES	OHW
ELEVATION (EXISTING)	+ 7.63
PROPERTY LINE	
AREA TO BE FILLED	
SILT FENCE	

HIGHLAND AVENUE DEVELOPMENT

PLAN SHOWING

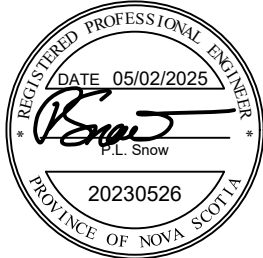
PRE-DEV STORMWATER CONDITIONS
KENT FIELDS ESTATES LTD.

HIGHLAND AVENUE, WOLFVILLE
KINGS COUNTY, NS



PLAN SCALE 1:500

DESIGNED BY PETER L. SNOW, P.ENG.



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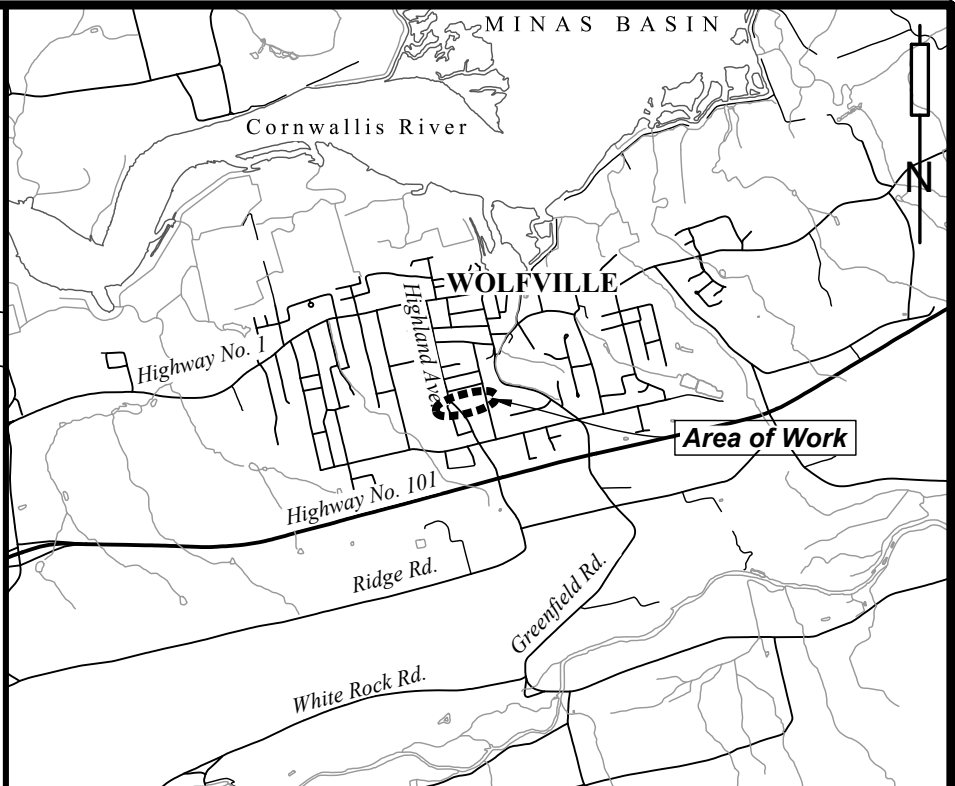
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DRAFTED ON: FEBRUARY 12, 2024

PLAN No: 2023-404-4 PRE

SHEET 5 of 7

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KEY PLAN SCALE 1:50,000

REVISIONS	
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FIRE HYDRANT	FH
WATER VALVE	WV
CALCULATED POINT	CP
UTILITY POLE	UP
RIGHT OF WAY	ROW
NOT TO SCALE	NTS
ANCHOR	A
OVERHEAD WIRES	OHW
ELEVATION (EXISTING)	+ 7.63
PROPERTY LINE	PL
AREA TO BE FILLED	AREA TO BE FILLED
SILT FENCE	SILT FENCE

HIGHLAND AVENUE DEVELOPMENT	
PLAN SHOWING	
POST-DEV STORMWATER CONDITIONS	
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HIGHLAND AVENUE, WOLFVILLE	
KINGS COUNTY, NS	
SCALE 1:500	
PLAN SCALE 1:500	
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HIGHLAND AVENUE DEVELOPMENT	
PLAN SHOWING	
POST-DEV STORMWATER CONDITIONS	
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HIGHLAND AVENUE, WOLFVILLE	
KINGS COUNTY, NS	
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HIGHLAND AVENUE DEVELOPMENT	
PLAN SHOWING	
POST-DEV STORMWATER CONDITIONS	
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KINGS COUNTY, NS	
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HIGHLAND AVENUE DEVELOPMENT	
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HIGHLAND AVENUE DEVELOPMENT	
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KINGS COUNTY, NS	
SCALE 1:500	
PLAN SCALE 1:500	
DESIGNED BY PETER L. SNOW, P.ENG.	

POST-DEVELOPMENT - KENTVILLE RAINFALL DATASET - 2022/10/31				100 YEAR	10 YEAR
SUBBASIN	AREA (ha)	CURVE NUMBER	OUTLET TO	PEAK RUNOFF (lps)	
POST SUBJECT 1	0.0605	85.06	HIGHLAND AVE	13.88	8.51
POST SUBJECT 3	0.0184	97.39	OFFSITE 4 LOT	5.10	3.68
POST SUBJECT 8	0.0818	86.42	OFFSITE NORTH	202.04	114.48
POST SUBJECT 9	0.2360	79.54			
OFFSITE 4	0.2857	81.40	OFFSITE (PIPED)	103.32	76.50
POST SUBJECT 2	0.0180	95.38			
POST SUBJECT 4	0.0280	93.64			
POST SUBJECT 5	0.3298	89.14			
POST SUBJECT 6	0.0957	85.96			
POST SUBJECT 7	0.0573	94.66			
POST SUBJECT 8	0.0818	86.42			
OFFSITE 1	0.0554	86.78			
OFFSITE 2	0.4825	81.53			
OFFSITE 3	0.4284	79.87			

PIPE	FROM (INLET)	TO (OUTLET)	LENGTH	INLET INVERT	OUTLET INVERT	SLOPE	PIPE DIAMETER	MANNING'S ROUGHNESS	PEAK FLOW	MAX VELOCITY	TRAVEL TIME	FLOW CAPACITY	PEAK FLOW / CAPACITY	FLOW DEPTH	FLOW DEPTH / PIPE DEPTH
			(m)	(m)	(m)	(%)	(mm)		(lps)	(m/sec)	(min)	(lps)		(m)	
PIPE 1	MHSTM 1	EX MHSTM HIGHLAND	17.50	55.62	55.40	1.2600	300.000	0.0100	103.320	1.84	0.16	140.96	0.73	0.22	0.74
PIPE 2	CB 1	MHSTM 1	17.84	57.55	57.46	0.5000	200.000	0.0100	5.040	0.71	0.42	31.92	0.16	0.06	0.28
PIPE 3	CB 2	MHSTM 1	29.56	55.88	55.62	0.8800	300.000	0.0100	100.770	1.52	0.32	117.91	0.85	0.27	0.90
PIPE 4	MHSTM 2	CB 2	29.83	56.13	55.88	0.8400	300.000	0.0100	93.270	1.42	0.35	115.09	0.81	0.27	0.92
PIPE 5	POND ORIFICE	MHSTM 2	10.76	56.35	56.23	1.1200	300.000	0.0100	93.230	1.36	0.13	132.77	0.70	0.28	0.95
PIPE 6	CB 3	DETENTION POND	16.39	57.30	56.85	2.7500	300.000	0.0100	107.350	2.46	0.11	208.31	0.52	0.24	0.82
PIPE 7	CB 4	CB 3	33.13	57.63	57.30	1.0000	300.000	0.0100	15.720	0.59	0.94	125.47	0.13	0.13	0.44



HIGHLAND AVENUE DEVELOPMENT	
PLAN SHOWING	
POST-DEV STORMWATER CONDITIONS	
KENT FIELDS ESTATES LTD.	
HIGHLAND AVENUE, WOLFVILLE	
KINGS COUNTY, NS	
SCALE 1:500	
PLAN SCALE 1:500	
DESIGNED BY PETER L. SNOW, P.ENG.	

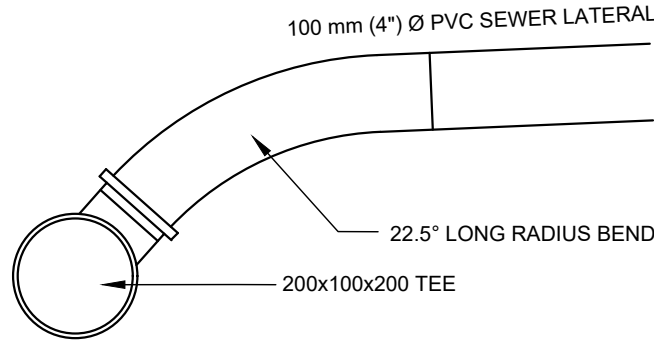
HIGHLAND AVENUE DEVELOPMENT	
PLAN SHOWING	
POST-DEV STORMWATER CONDITIONS	
KENT FIELDS ESTATES LTD.	
HIGHLAND AVENUE, WOLFVILLE	
KINGS COUNTY, NS	
SCALE 1:500	
PLAN SCALE 1:500	
DESIGNED BY PETER L. SNOW, P.ENG.	

- NOTES
1. ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.S. STANDARD SPECIFICATIONS FOR MUNICIPAL SERVICES 2024, NS ENVIRONMENT AND TOWN OF WOLFFVILLE SUBDIVISION BY-LAW.
 2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UNDERGROUND SERVICES PRIOR TO CONSTRUCTION
 - CHECK WITH TOWN OF WOLFFVILLE REGARDING EXISTING UTILITIES
 - CHECK WITH BELL ALLIANT REGARDING EXISTING TELEPHONE LINES
 - CHECK WITH NS POWER REGARDING EXISTING POWER LINES
 3. ALL SODDED AREAS DISTURBED DURING CONSTRUCTION MUST BE REINSTATED, SOD OR HYDROSEED
 4. ALL ROADWAYS AND SHOULDERS DISTURBED DURING CONSTRUCTION MUST BE REINSTATED
 5. STORMWATER PIPES TO BE HDPE MEETING NS STANDARD SPECIFICATIONS FOR MUNICIPAL SERVICES.

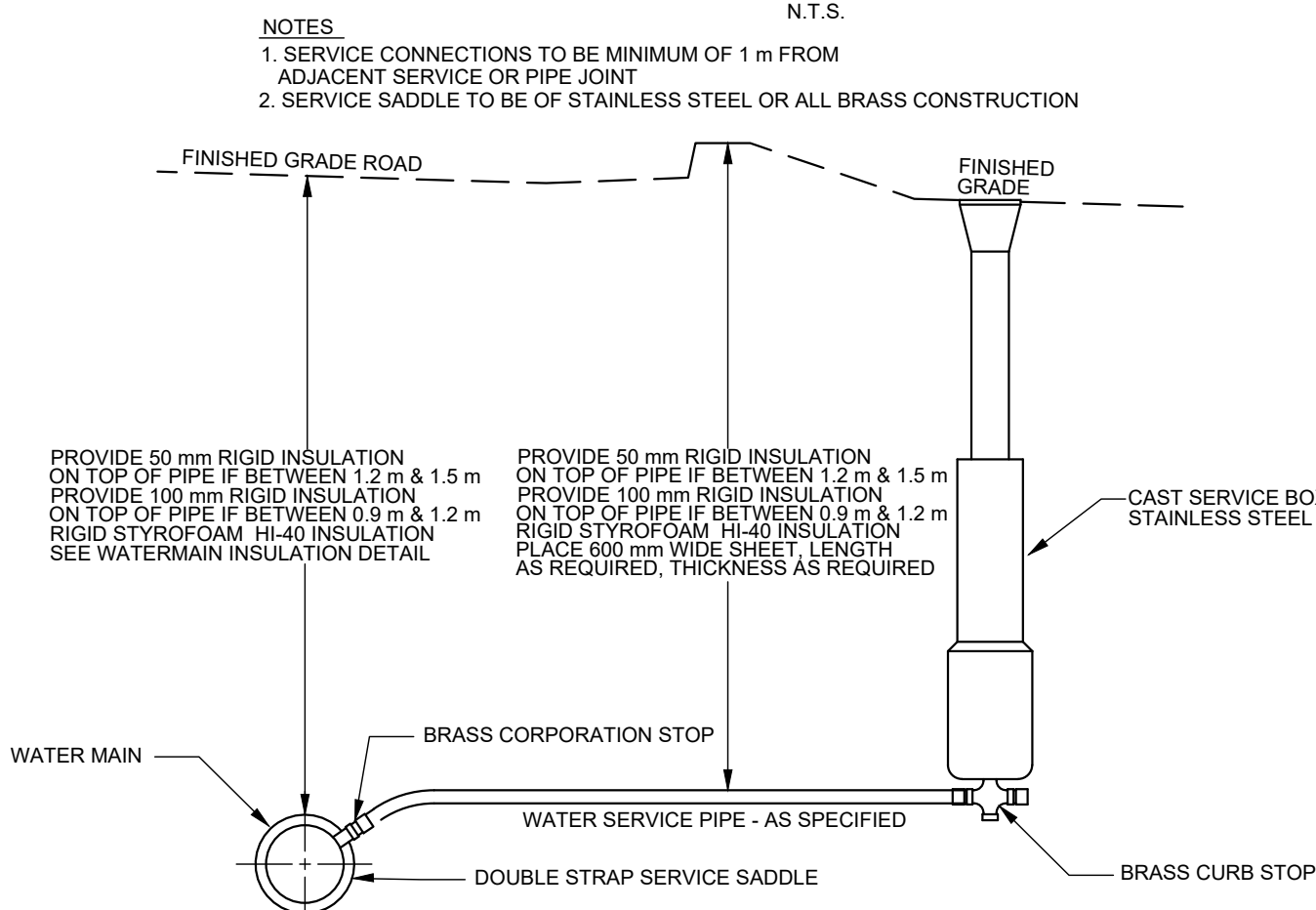
ENVIRONMENTAL PROTECTION NOTES:

1. CLEAN EXISTING STREETS, AS DIRECTED, TO REMOVE ANY MUD THAT MAY BE TRACKED OFF-SITE BY THE CONSTRUCTION EQUIPMENT.
2. SILT FENCE TO BE INSTALLED ALONG THE PROPERTY BOUNDARIES AS REQUIRED BEFORE GRUBBING OR PLACING OF FILL.
3. INSTALL ADDITIONAL PROTECTION BERMS, SILT FENCES, CUTOFF DITCHES, ETC., AS REQUIRED BY SITE CONDITIONS TO PREVENT SEDIMENT FROM ENTERING PONDS OR RIVER.
4. MAINTAIN A STOCK PILE OF APPROPRIATE EROSION AND ENVIRONMENTAL PROTECTION MATERIALS ON SITE AT ALL TIMES. THESE SHALL INCLUDE AS A MINIMUM:
 - 1. 200 LINEAL FEET OF SILT-FENCE
 - 2. 20 BALES OF HAY OR STRAW
 - 3. A STOCK PILE OF 12 CUBIC YARDS OF WOOD CHIPS
 - 4. A STOCK PILE OF 24 CUBIC YARDS OF TYPE 1 GRAVEL
5. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES FROM THE TIME OF INSTALLATION UNTIL AFTER ALL AREAS DRAINING TOWARDS THEM HAVE BEEN TOTALLY STABILIZED.
6. STABILIZE SLOPES AND CRITICAL AREAS BY SODDING, OR AS SHOWN ON THE LANDSCAPING DETAILS.
7. ANY DISTURBED AREAS WHICH MAY BE REWORKED SHALL BE STABILIZED USING WOOD CHIPS OR OTHER APPROVED METHODS WITHIN TWO WEEKS OF THE DISTURBANCE OR BEFORE A FORECAST OF A SIGNIFICANT RAINFALL EVENT. MAINTAIN IN PLACE UNTIL PLACEMENT OF PERMANENT STABILIZATION OR LANDSCAPING.
8. REMOVE SILT ACCUMULATIONS AT SILT FENCES AND OTHER PROTECTION DEVICES BY CAREFUL HAND EXCAVATION. DISPOSE OF ACCUMULATED SILT BY REMOVING FROM SITE OR PLACING AND BURYING IT IN FILL AREAS.
9. DEWATERING OF EXCAVATIONS SHALL BE DIRECTED THROUGH GRAVEL BERMS.
10. DO NOT PUMP, OR DRAIN WATER CONTAINING SUSPENDED MATERIALS INTO PONDS OR RIVER.
11. COVER SOIL STOCKPILES WITH PLASTIC SHEETS OR APPROVED EQUAL WHEN SO DIRECTED.
12. PRIOR TO CARRYING OUT WORK, CHECK THE LONG RANGE WEATHER FORECAST TO ENSURE THAT THERE IS ADEQUATE TIME BEFORE FORECAST HEAVY RAIN STORMS TO STABILIZE THE WORK.
13. DO NOT PERMIT DISCOLOURED WATER TO ENTER PONDS OR RIVER. INSPECT SEDIMENT AND EROSION CONTROL MEASURES ON A REGULAR BASIS AND MAINTAIN AS NECESSARY.
14. HAVE PERSONNEL ON CALL TO PROVIDE EMERGENCY REPAIRS TO SEDIMENT AND EROSION CONTROL MEASURES AT ALL TIMES.

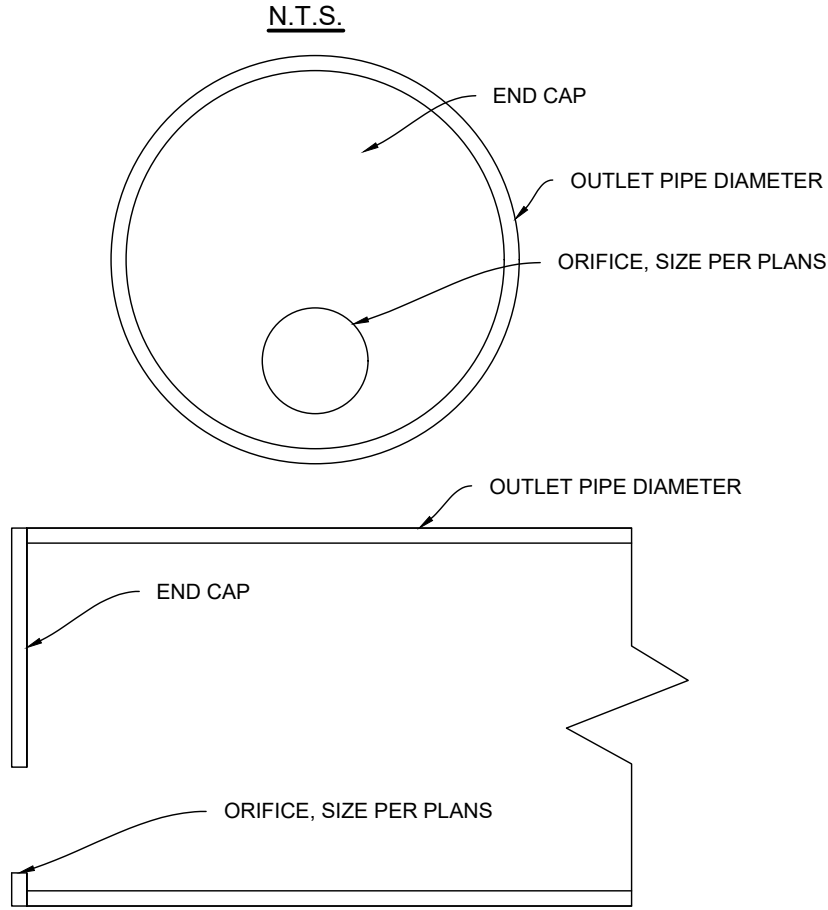
SANITARY LATERAL CONNECTION



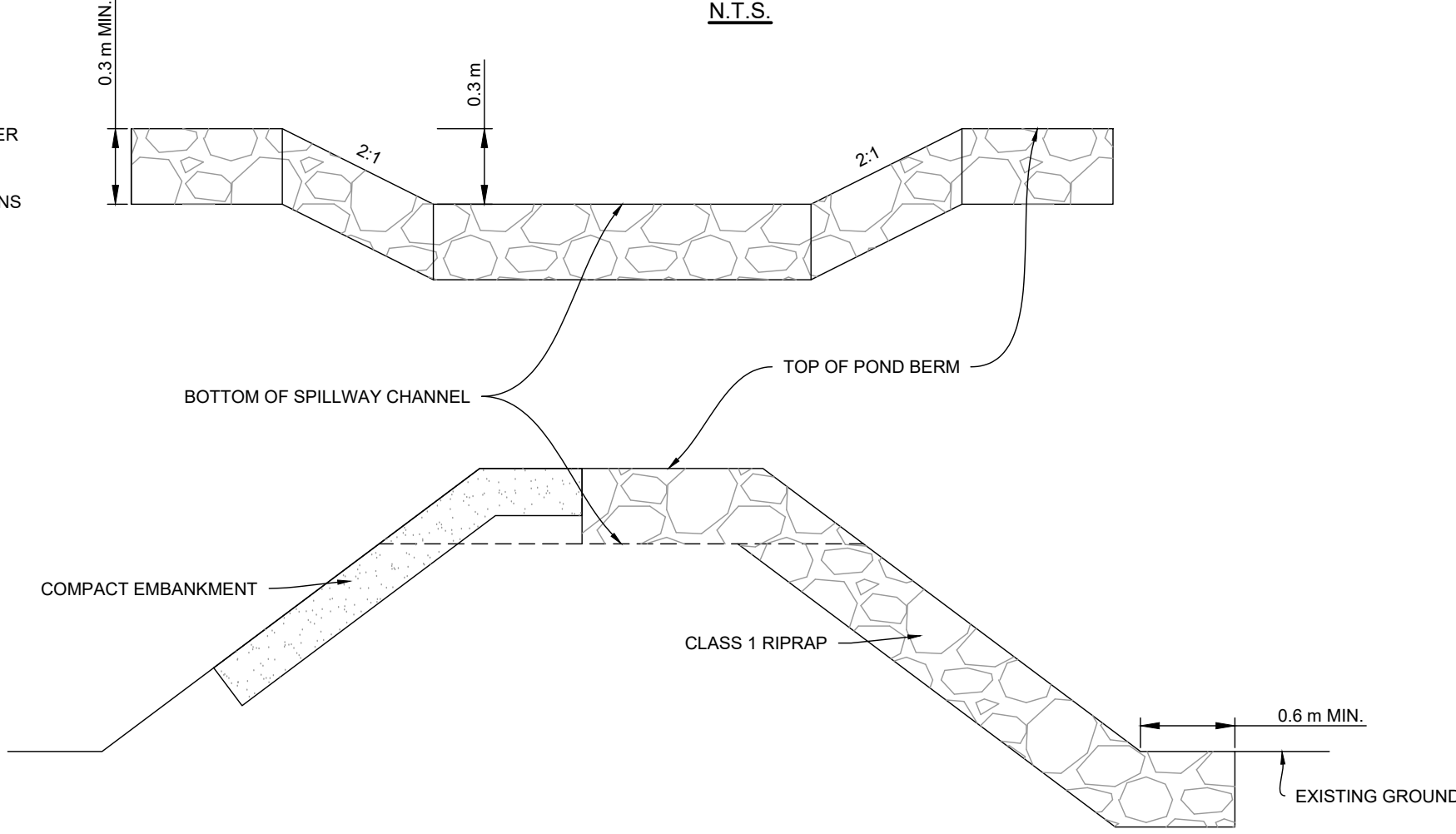
TYPICAL WATER SERVICE CONNECTION



POND OUTLET ORIFICE

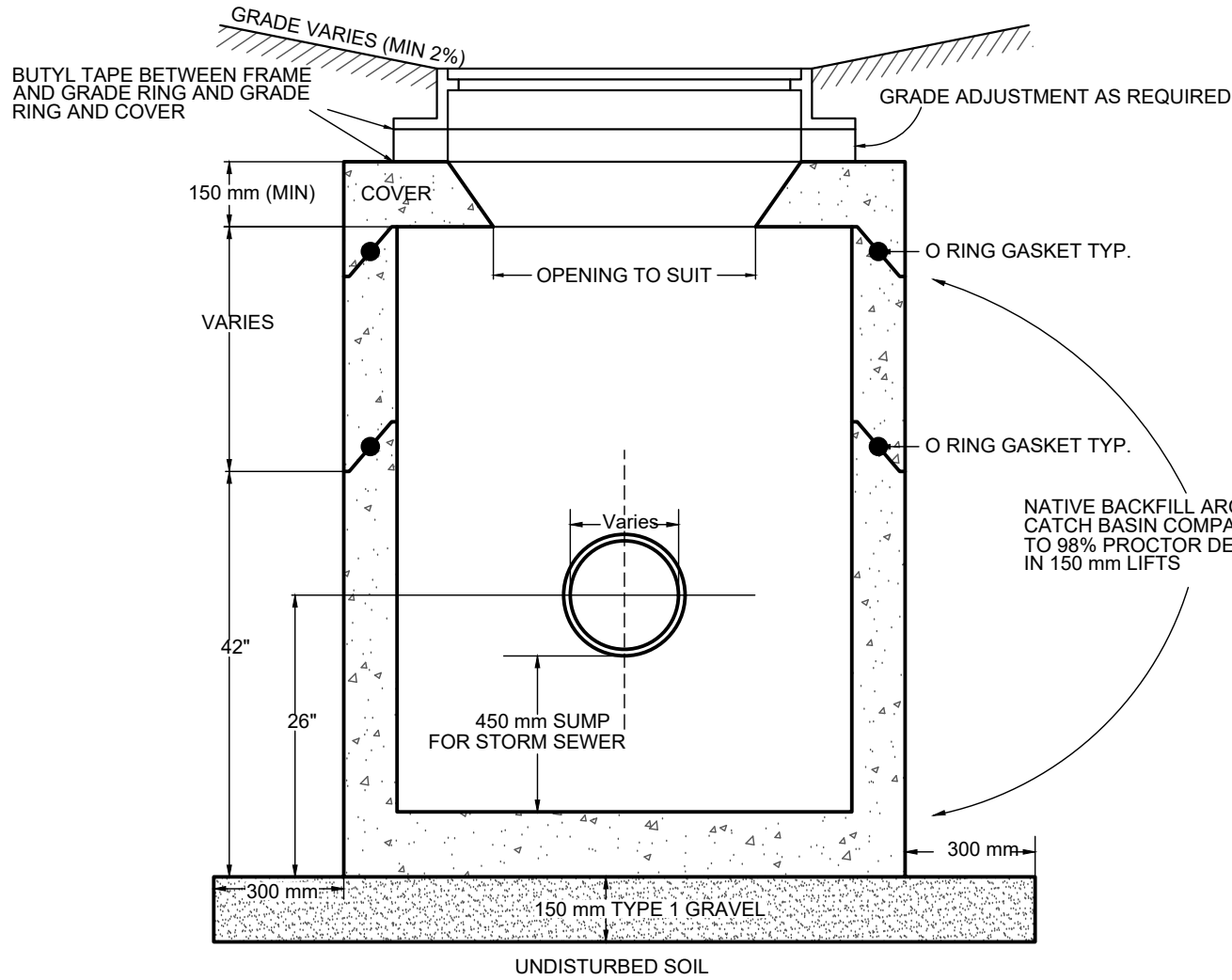


RETENTION POND WEIR



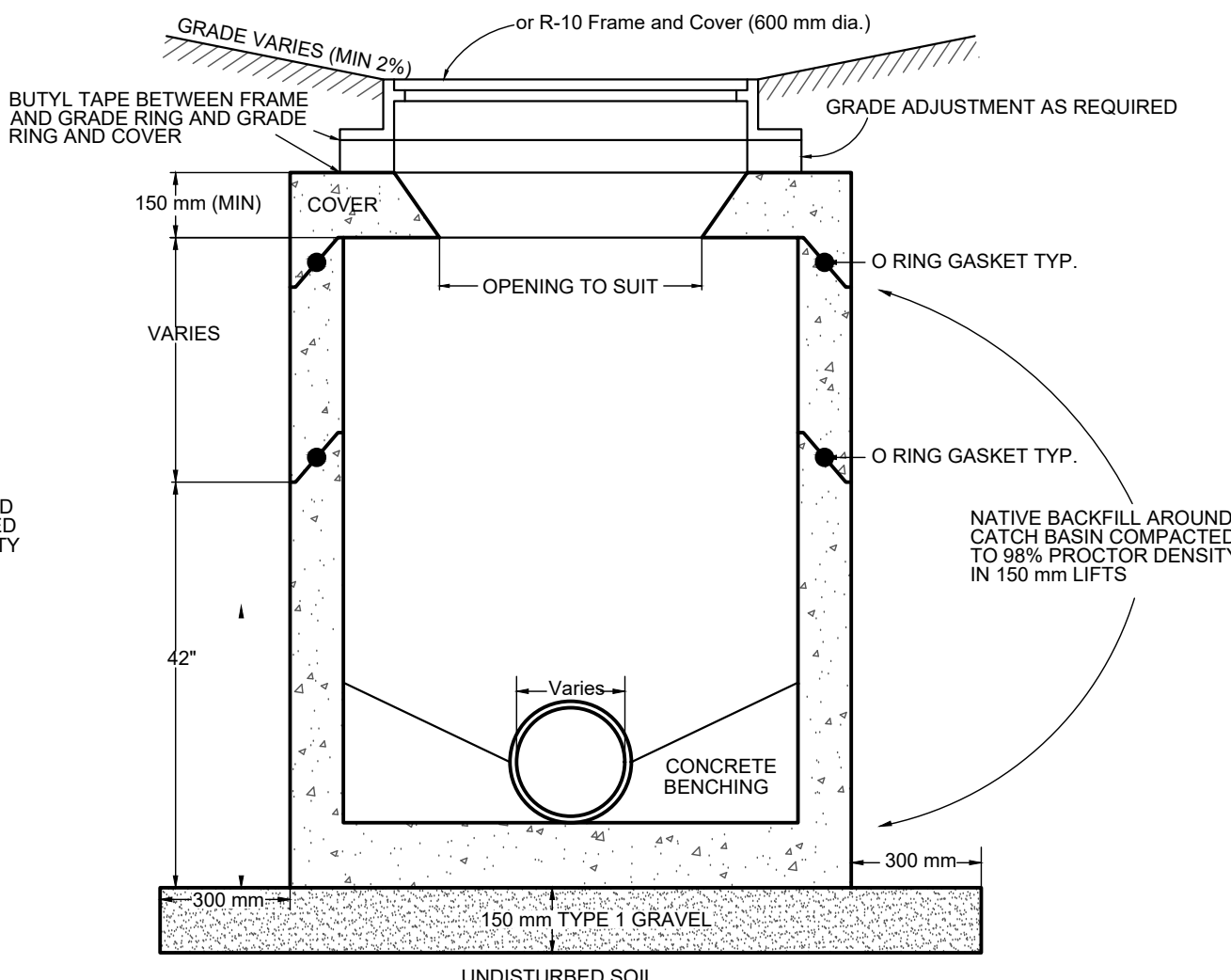
42" (1050 mm) DIA. PRECAST STORM MANHOLE/CATCH BASIN

NOT TO SCALE



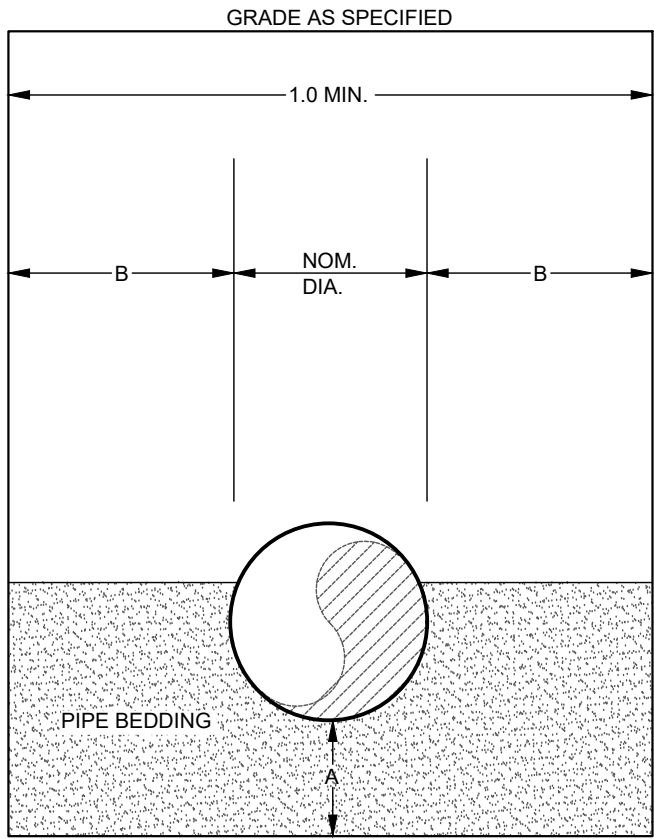
42" (1050 mm) DIA. PRECAST SANITARY MANHOLE

NOT TO SCALE



TYPICAL SINGLE PIPE TRENCH

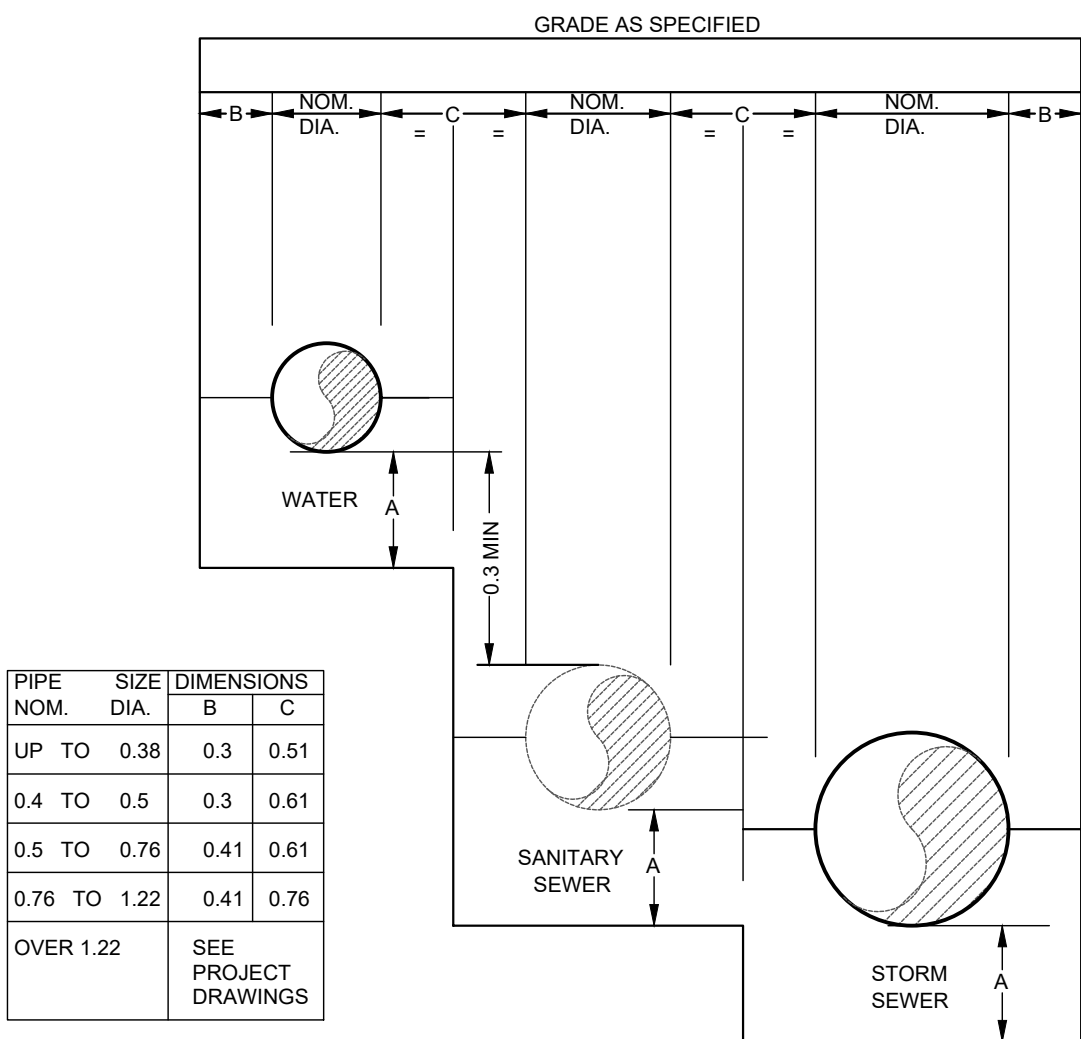
N.T.S.



- NOTES:
1. ACTUAL ELEVATIONS OF ALL PIPES TO BE AS SHOWN ON PROFILES.
 2. DIMENSION "A" EQUALS 25% OF THE NOMINAL DIAMETER OR 0.15 WHICHEVER IS GREATER.
 3. LATERAL TRENCH PAY WIDTH 1.0 FOR MAXIMUM COMBINED PIPE DIAMETERS UP TO 0.3
 4. PAYMENT WIDTH FOR STRUCTURES TO BE 0.3 OUTSIDE THE OUTER WALL OF STRUCTURES.
 5. DIMENSIONS GIVEN ARE FOR PAYMENT PURPOSES ONLY. ACTUAL CONSTRUCTION WIDTHS SHALL BE IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENT AND LABOR.
 6. DIMENSIONS GIVEN ARE IN METRES UNLESS OTHERWISE NOTED

TYPICAL MULTIPLE PIPE TRENCH

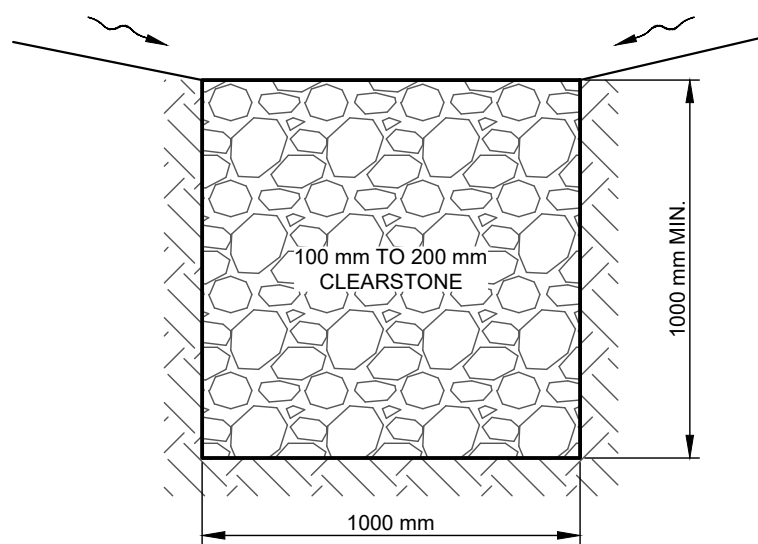
N.T.S.



PIPE NOM.	SIZE DIA.	B	C
UP TO	0.38	0.3	0.51
0.4 TO	0.5	0.3	0.61
0.5 TO	0.76	0.41	0.61
0.76 TO	1.22	0.41	0.76
OVER 1.22		SEE PROJECT DRAWINGS	

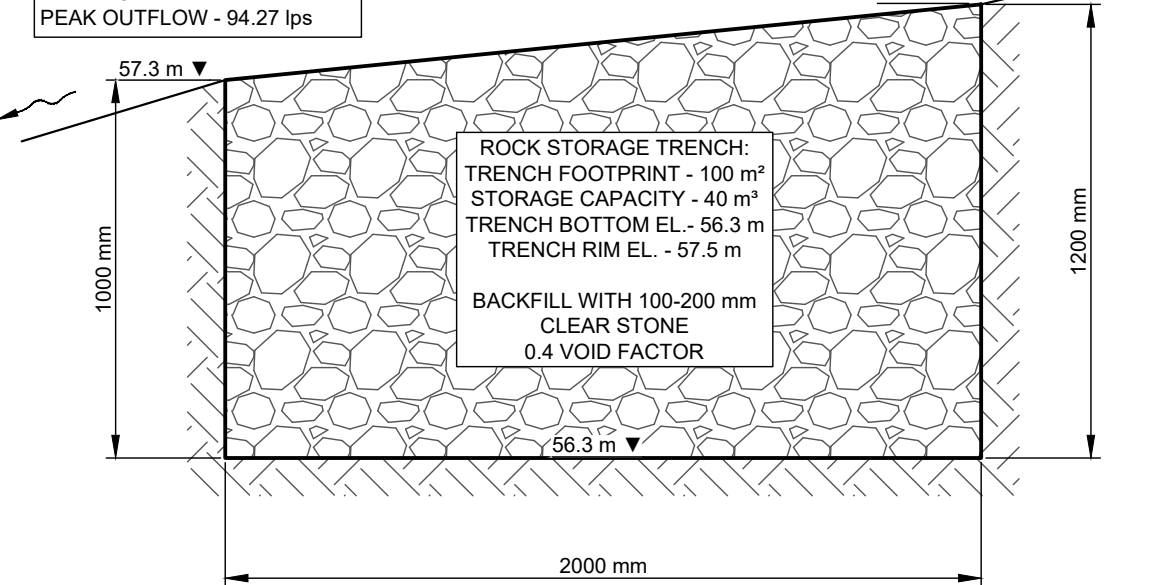
ROCK FILLED SWALE

N.T.S.



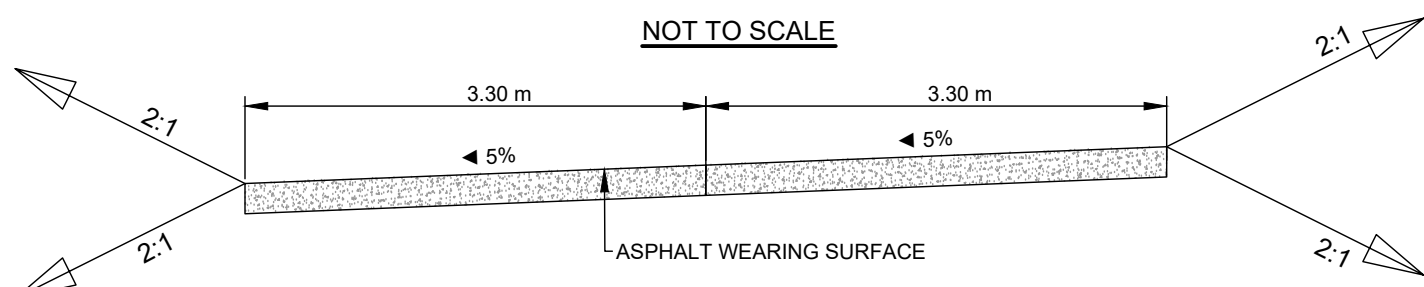
ROCK TRENCH

N.T.S.



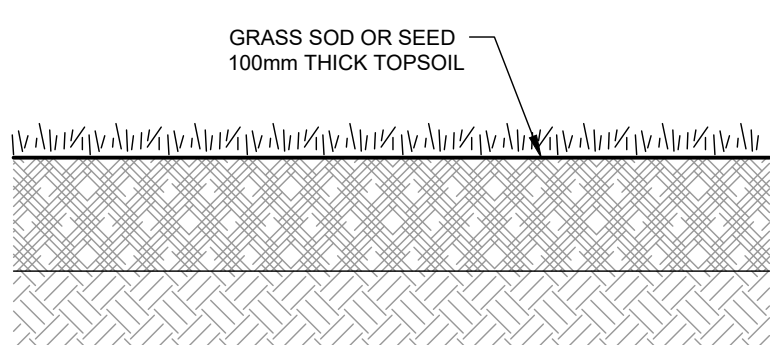
TYPICAL DRIVEWAY CROSS SECTION

NOT TO SCALE



GRASS PLANTING

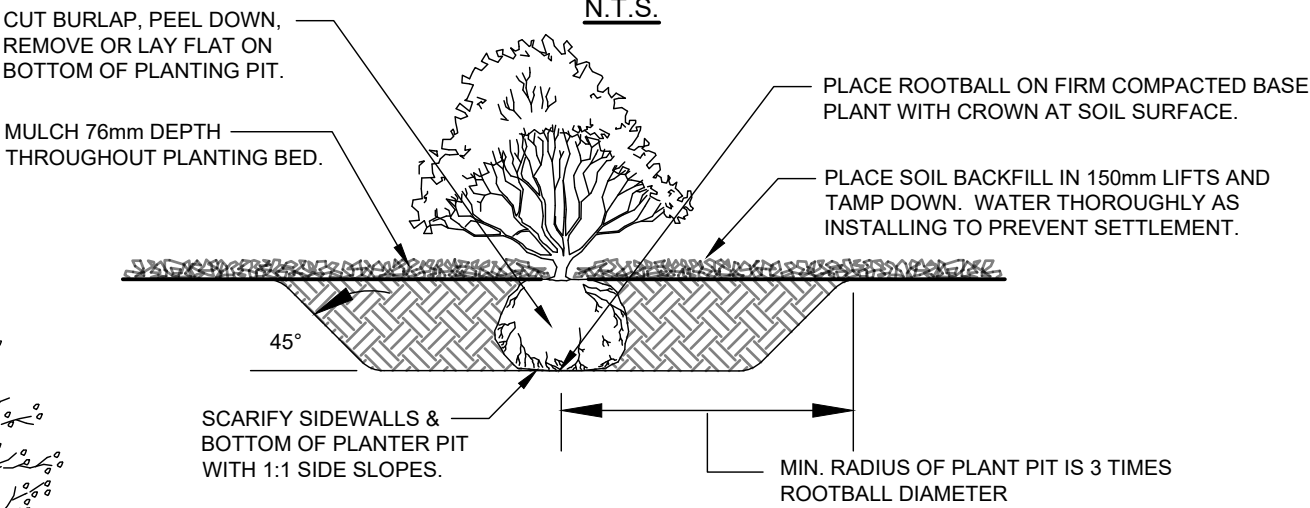
N.T.S.



- NOTES:
- SOIL HAND ROLLED
 - LOOSEN SURFACE WITH RAKE
 - SOD APPLIED TO DAMP, NOT WET, FERTILIZED
 - SOIL IRRIGATE ONCE SOD IS IN PLACE

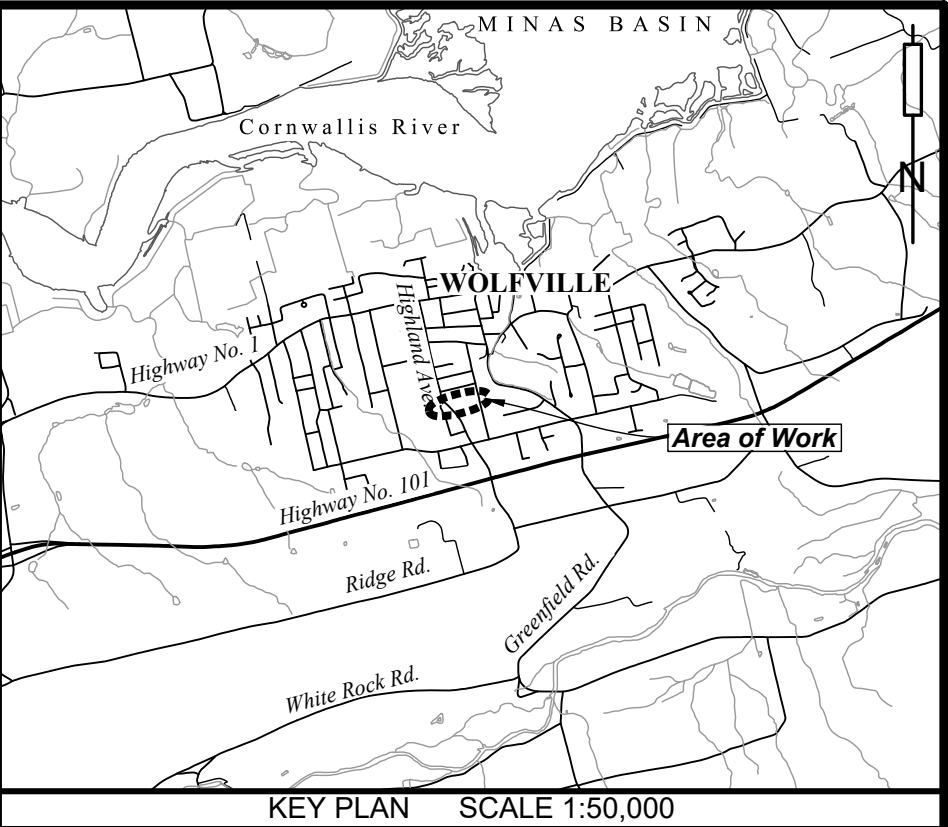
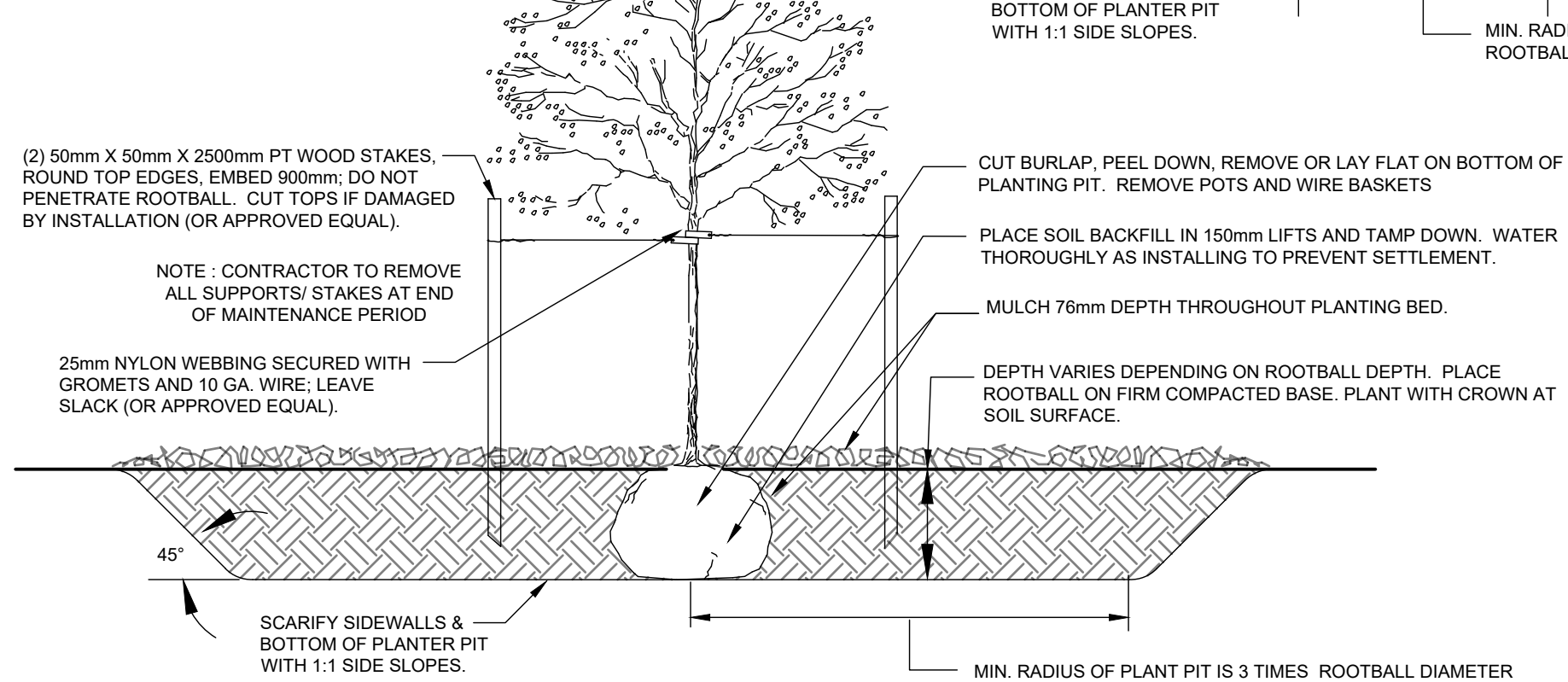
SHRUB PLANTING

N.T.S.



TREE PLANTING

N.T.S.



REVISIONS

5. REISSUED FOR SITE PLAN APPROVAL - OCTOBER 10, 2025
4. REISSUED FOR SITE PLAN APPROVAL - SEPTEMBER 29, 2025
3. REISSUED FOR SITE PLAN APPROVAL - FEBRUARY 11, 2025
2. ISSUED FOR SITE PLAN APPROVAL - JANUARY 16, 2025
1. ISSUED FOR CLIENT REVIEW - DECEMBER 19, 2024

CONTROL TABLE

MTM ZONE 5, NAD 83(CSRS) (2010.0 V7)

POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
ACS 250001	4991038.243	25489680.532	45.182	SMARTNET (PUBLISHED)

LEGEND

BEGINNING OF VERTICAL CURVE	.....	BVC
END OF VERTICAL CURVE	.....	EVC
POINT OF VERTICAL INTERSECTION	.....	PVI
FINISHED GRADE	.....	FG
CALCULATED	.....	C
POINT OF CURVATURE	.....	PC
POINT OF COMPOUND CURVATURE	.....	PCC
CHORD	.....	CH
MANHOLE (SANITARY)	.....	MHS
MANHOLE (STORM)	.....	MHST
CATCH BASIN	.....	CB
SILUICE BOX / CATCH PIT	.....	SB/CP
FIRE HYDRANT	.....	FH
WATER VALVE	.....	WV
CALCULATED POINT	.....	CP
UTILITY POLE	.....	UP
RIGHT OF WAY	.....	ROW
NOT TO SCALE	.....	NTS
ELEVATION (FINISHED GRADE)	.....	EL
OVERHEAD WIRES	.....	OHW
ELEVATION (EXISTING)	.....	EL
PROPERTY LINE	.....	PL
AREA TO BE FILLED	.....	AF
SILT FENCE	.....	SF

HIGHLAND AVENUE DEVELOPMENT

SHOWING

GENERAL DETAILS

KENT FIELDS ESTATES LTD.

HIGHLAND AVENUE, WOLFFVILLE

KINGS COUNTY, NS

NOT TO SCALE

DESIGNED BY PETER L. SNOW, P.ENG.



DeWOLFE & MORSE SURVEYING LIMITED

P.O. BOX 520 MIDDLETON
ANNAPOLIS COUNTY, N.S.
B0S - 1P0
Email: info@demost.ca

DRAFTED ON: FEBRUARY 12, 2024

PLAN No: 2023-404-6 DETAILS

SHEET 7 of 7

Site Plan Approval – Criteria Checklist

APPLICATION: SP-002-2024 Lots 2025-1, 2025-2, 2025-3, 2025-4 Highland Avenue - 28 units on Four Lots Review Date: February 28, 2025	
LUB Reference	Staff Comments
2.10 Submission Requirements	Application requirements met.
Zone Standards: Part 12 Medium Density Residential (R-3) zone Permitted Use Table 8.1	Lot 2025-1 8-unit Building Lot 2025-2 8-unit Building Lot 2025-3 6-unit Building Lot 2025-4 6-unit Building
Part 6 Parking Parking is calculated using table 6.1 1.25 spaces per dwelling unit + ½ space for each bedroom in excess of three.	35 spaces required – 45 spaces provided
Site Plan Approval Requirements:	
<i>1. The location of new structures on the lot shall minimize negative impacts on the surrounding neighbourhood, including noise, dust, fumes, lighting, shadows, or other nuisance or inconvenience to neighbouring properties;</i>	No issues identified. Landscape buffering will be put in place to minimize any impacts should they arise.
<i>2. The location of off-street parking and loading facilities shall minimize negative impacts on the surrounding neighbourhood, including traffic, noise, dust, fumes, lighting, or other nuisance or inconvenience to neighbouring properties;</i>	Parking areas are designed in keeping with parking lot standards – Land Use Bylaw section 6.5
<i>3. The location, number and width of driveways are designed to prevent traffic, noise, dust, fumes, congestion, or other nuisance and inconvenience in the area and minimize negative impacts on the surrounding neighbourhood;</i>	One access point for the four lots. Access easements will be required prior to occupancy.

Site Plan Approval – Criteria Checklist

4. <i>The type, location, and height of walls, fences, hedges, trees, shrubs, ground cover or other landscaping elements which is necessary to protect and minimize negative land use impact on neighbouring properties;</i>	LUB 8.7(2) Abutting Landscape Buffers - Landscape buffer required on the rear and side yards.
5. <i>Existing vegetation shall be retained where the vegetation is healthy and helps to minimize negative impacts on the surrounding neighbourhood;</i>	Existing trees and vegetation will be retained where possible.
6. <i>The location of pedestrian walkways, and/or related infrastructure, shall be provided to link public sidewalks and parking areas to entrances of all primary buildings;</i>	Proposed walkway and driveway provide linkage to street and amenity areas.
7. <i>The type and location of outdoor lighting is designed to light the structure, driveways and pedestrian infrastructure, but shall not be directed onto neighbouring properties;</i>	Any new lighting installed will be assessed to ensure compliance with the LUB.
8. <i>The location of facilities for the storage of solid waste provides for maximum separation from residential development and public areas;</i>	Solid waste storage to be screened.
9. <i>The location of all existing easements shall be identified;</i>	Proposed access and parking easements drawings provided. Easements will be finalized prior to occupancy.
10. <i>The grading or alteration in elevation or contour of the land shall minimize undue erosion and/or sedimentation, and other negative impacts on neighbouring properties;</i>	Alterations to land levels, etc. have been designed in compliance with the Stormwater Management Guidelines and approved by the Town Engineer.
11. <i>The management of storm and surface water is addressed, and associated plans are approved by the Town Engineer;</i>	The application has been reviewed and approved by the Town Engineer.
12. <i>The type, location number and size of signs or sign structures do not negatively alter the appearance of the streetscape or neighbourhood;</i>	N/A
13. <i>All signage shall be designed and constructed according to the signage requirements listed in Part 7;</i>	N/A

Site Plan Approval – Criteria Checklist

<i>14. Developments located in a Design Guidelines Area shall adhere to the design guidelines listed in Schedule "F" Town of Wolfville Design Guidelines. Input from the Design Review Committee may be required.</i>	This property is not located in a Design Guidelines Area.
<i>15. The Development Officer may vary any of the prescriptive dimensional requirements by up to 10 percent of the requirements to allow some flexibility to accommodate physical anomalies of a site, so long as the intent of the particular requirement is not compromised.</i>	No variances are anticipated at time of review.



PROJECT NAME: KENTFILEDS 8 UNIT APARTMENT PLANS

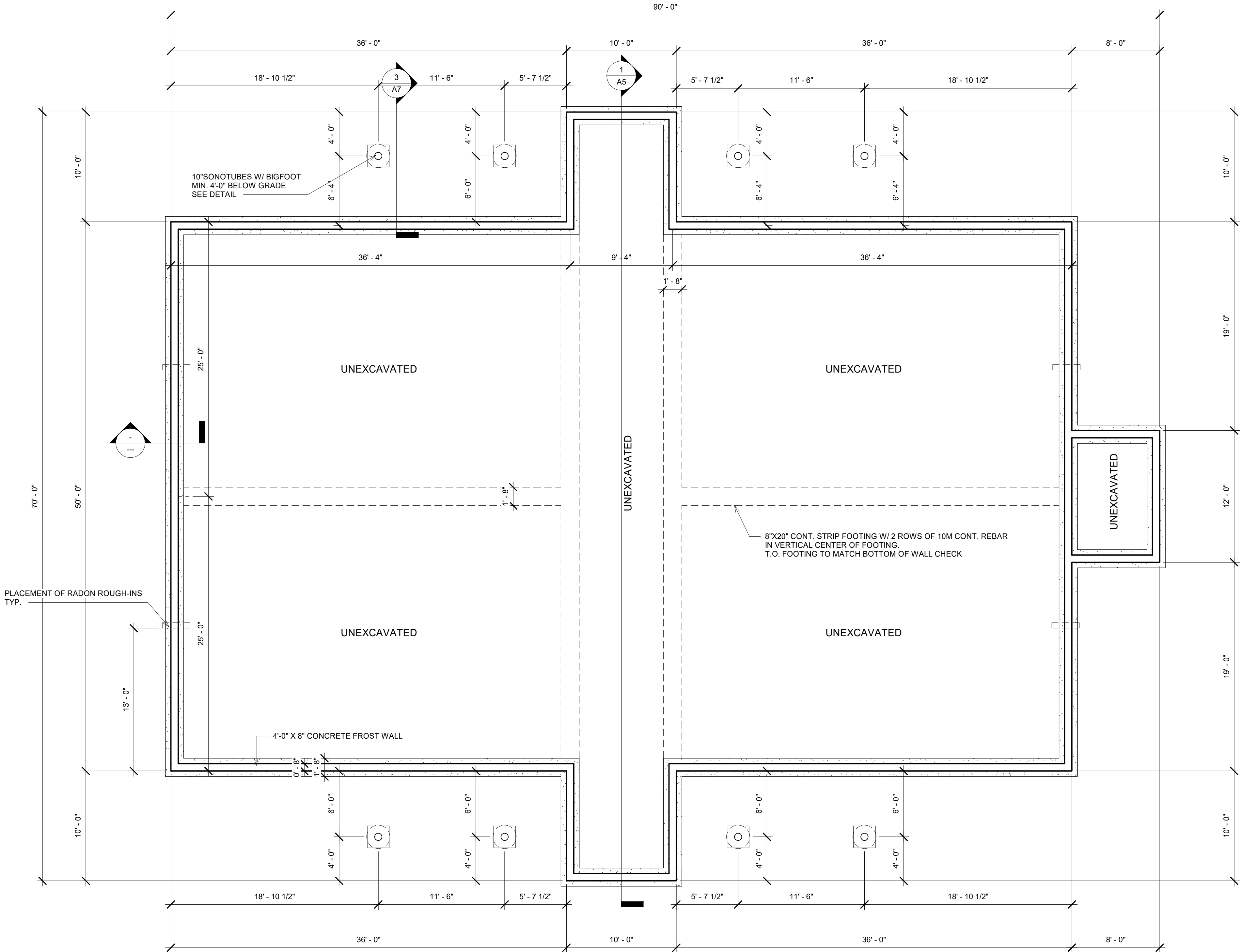
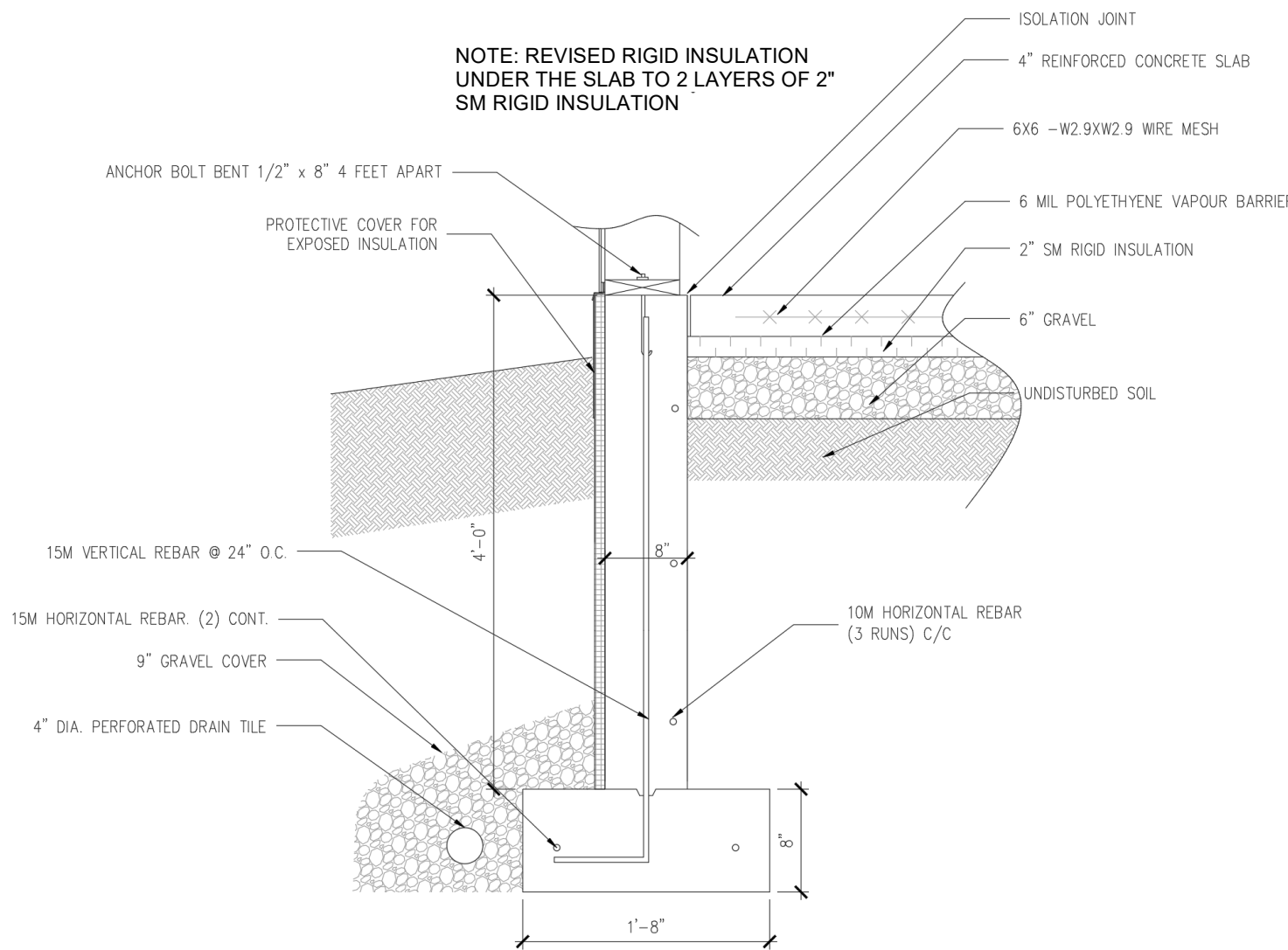
- A1- FIRST FLOOR
- A2- SECOND FLOOR
- A3- ELEVATIONS
- A4- ELEVATION
- A5- CROSS SECTION
- A6- STAIR SECTION
- A7- DECK CONSTRUCTION
- A8- INTERIOR DIMENSIONS
- A9- ROOF PLAN
- A10- SCHEDULES

GENERAL NOTES :

- ALL WORK AND MATERIALS SHALL CONFORM TO THE NATIONAL BUILDING CODE AS ADOPTED BY THE PROVINCE OF NOVA SCOTIA & ALL AUTHORITIES HAVING JURISDICTION.
- EXAMINE ALL DRAWINGS & CHECK ALL DIMENSIONS AGAINST SITE CONDITIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- FOUNDATION DESIGN BASED ON A MINIMUM SOIL BEARING CAPACITY OF 3,000 P.S.F.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL HAVING A MINIMUM BEARING CAPACITY OF 3,000 psf.
- SUB-BASE UNDER SLABS ON GRADE SHALL BE COMPACTED TO 100% STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY AND SHALL BE PLACED ON STRUCTURAL FILL SUB BASE HAVING A MIN. BEARING CAPACITY OF 3,000 P.S.F.
- DESIGN, INSTALL AND MAINTAIN ADEQUATE TEMPORARY BRACING AND SHORING OF ALL STRUCTURAL ELEMENTS FOR STABILITY AND SAFETY WHERE REQUIRED DURING CONSTRUCTION IN ACCORDANCE WITH REGULATIONS AND AUTHORITIES HAVING JURISDICTION.

REINFORCED CONCRETE NOTES :

- ALL CONCRETE, CONCRETE MATERIAL, FORMS, PRACTICE, ETC. SHALL CONFORM TO CAN/CSA-A23.1-M94 UNLESS NOTED OTHERWISE.
- MINIMUM COMPRESSIVE STRENGTH OF CONC. AT 28 DAYS SHALL BE:
- 4,000 psi FOR INTERIOR FLOOR SLABS
- MATERIALS FOR FLOOR SLAB AS FOLLOWS:
- 4,000psi CONCRETE PLACED AT A SLUMP OF 4" TO 5".
- CONCRETE PROTECTIVE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
(a) CAST AGAINST FILL - NO FORM WORK . . . 3"
(b) EXPOSED TO EARTH OR WEATHER:
25M AND GREATER 2"
20M AND SMALLER 1"
(c) WALLS - PROTECTED 3"
- PROVIDE CONTINUOUS SUPERVISION DURING THE PLACEMENT OF CONCRETE TO ENSURE THAT THE REINFORCING STEEL IS MAINTAINED IN ITS CORRECT POSITION.
- ALL REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 400 MPa AND CONFORM TO CSA G30.18-M92.
- ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED, PLACED AND SUPPORTED IN ACCORDANCE WITH "REINFORCING STEEL MANUAL OF STANDARD PRACTICE" BY THE REINFORCING STEEL INSTITUTE OF CANADA FIRST EDITION 1992.
- ALL REINFORCING STEEL TO BE LAPPED A MIN. OF 30 BAR DIAMETERS UNLESS NOTED INCLUDING CORNERS.
- FLOOR SLAB TO HAVE A SMOOTH STEEL TROWEL FINISH.
- ALL CONCRETE TO BE PROTECTED FROM FREEZING OR ANY OTHER DETREMENTAL EFFECTS WHICH MAY BE CAUSED BY WEATHER CONDITIONS.
- SAWCUT CONCRETE SLAB 1/4 OF THE SLAB THICKNESS WHERE INDICATED ON THE DRAWING WITH EARLY ENTRY SAW. FILL SAWCUT JOINTS WITH JOINT FILLER.



1 FOUNDATION PLAN
3/16" = 1'-0"

NOTES:

FOR PERMIT

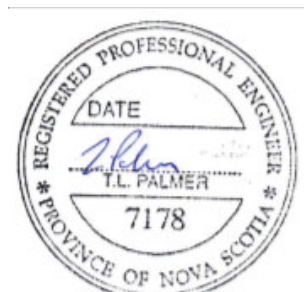
FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

NO.1	INSULATION REVISED	21.11.2022
NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:



STAMP:



PROJECT:

KENTFIELDS ESTATES - 8 UNIT

TITLE:

FOUNDATION PLAN

SCALE:

AS NOTED

DATE:

02-08-2022

DRAWN:

B.M.S

CHECKED:

T.P.

DWG:

S1

ISSUE:

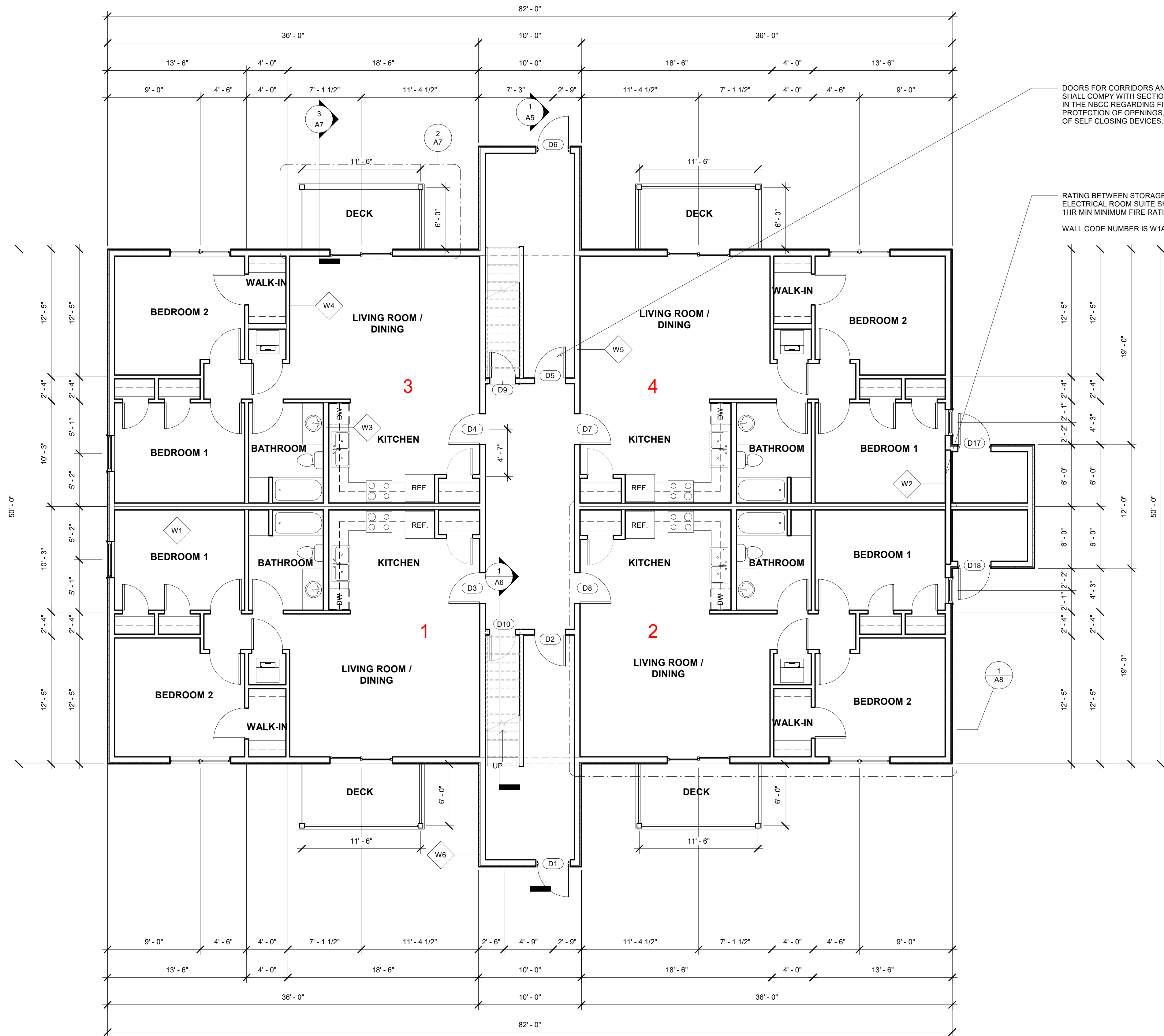
A

JOB NO

220102

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 NBCC
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING
3. ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS
4. ALL EXTERIOR AND LOAD BEARING WALLS ARE TO BE 2"x6" SPF NO.1 WHILE ALL OTHER INTERIOR WALLS ARE SPF NO.1 2"x4"
5. ALL PLUMBING WALLS ARE TO BE SPF. NO.1 2"x6"
6. ALL EXPOSED MATERIALS TO BE PROTECTED FROM ELEMENTS DURING CONSTRUCTION
7. TEMPORARY STRUCTURAL BRACING DURING CONSTRUCTION RESPONSIBILITY OF CONTRACTOR
8. INTERM CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGNED AREA LOADS FOR THE STRUCTURE.
9. PENETRATIONS AND OPENINGS SHALL BE SEALED
10. SOIL, SNOW, WIND, SEISMIC, AND LIVE LOADS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION
11. CONTRACTOR TO BE RESPONSIBLE FOR ALL SITE ENGINEERING
12. ALL DOOR JAMBS TO BE 6" UNLESS NOTED OTHERWISE.



DOORS FOR CORRIDORS AND INTO SUITES SHALL COMPLY WITH SECTION 3.1.8.12 & 3.1.8.13 IN THE NBCC REGARDING FIRE RATINGS, PROTECTION OF OPENINGS, AND INSTALLATION OF SELF CLOSING DEVICES.

RATING BETWEEN STORAGE ROOM AND ELECTRICAL ROOM SUITE SHALL HAVE A 1HR MIN MINIMUM FIRE RATING.
WALL CODE NUMBER IS W1A

W1- PARTY WALL

5/8" TYPE X GWB
RESILIENT CHANNELS @ 16" O.C.
2X4 STUDS (STAGGERED)
1/2" SOUND BOARD
2X4 STUDS STAGGERED
(2) 5/8" TYPE X GWB

W2- PARTY WALL TO MECH/ELEC.

1/2" TYPE X GWB
2X6 STUDS @ 16" O.C.
ROCK WOOL INSULATION
1/2" TYPE X GWB

W3- INTERIOR PARTITION (PLUMBING)

1/2" GWB
2X6 STUDS @ 16" O.C.
SINGLE TOP & BOTTOM PLATE
1/2" GWB

W4- INTERIOR PARTITION

1/2" GWB
2X4 STUDS @ 16" O.C.
SINGLE TOP & BOTTOM PLATE
1/2" GWB

W5- 2X6 CORRIDOR WALL

5/8" TYPE X GWB
RESILIENT CHANNELS @ 16" O.C.
2X6 STUDS @ 16" O.C.
SINGLE TOP PLATE AND BOTTOM PLATE
R12 ROCK WOOL INSULATION
RESILIENT CHANNELS @ 16" O.C.
5/8" TYPE X GWB

W6- EXTERIOR WALL

6" EXP. VINYL SIDING
AIR BARRIER
1" R4 TYPE II RIGID INSULATION
1/2" OSB
2"x6" STUDS @ 16" O.C.
R20 BATT INSULATION
6 MIL POLY VAPOR BARRIER
1/2" TYPE X GWB TAPED AND SANDED

1 FIRST FLOOR PLAN
3/16" = 1'-0"

NOTES:

FOR PERMIT

FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:



STAMP:



PROJECT:

KENTFIELDS ESTATES - 8 UNIT

TITLE:

FIRST FLOOR PLAN

SCALE:

AS NOTED

DATE:

02-08-2022

DRAWN:

B.M.S

CHECKED:

T.P.

DWG:

A1

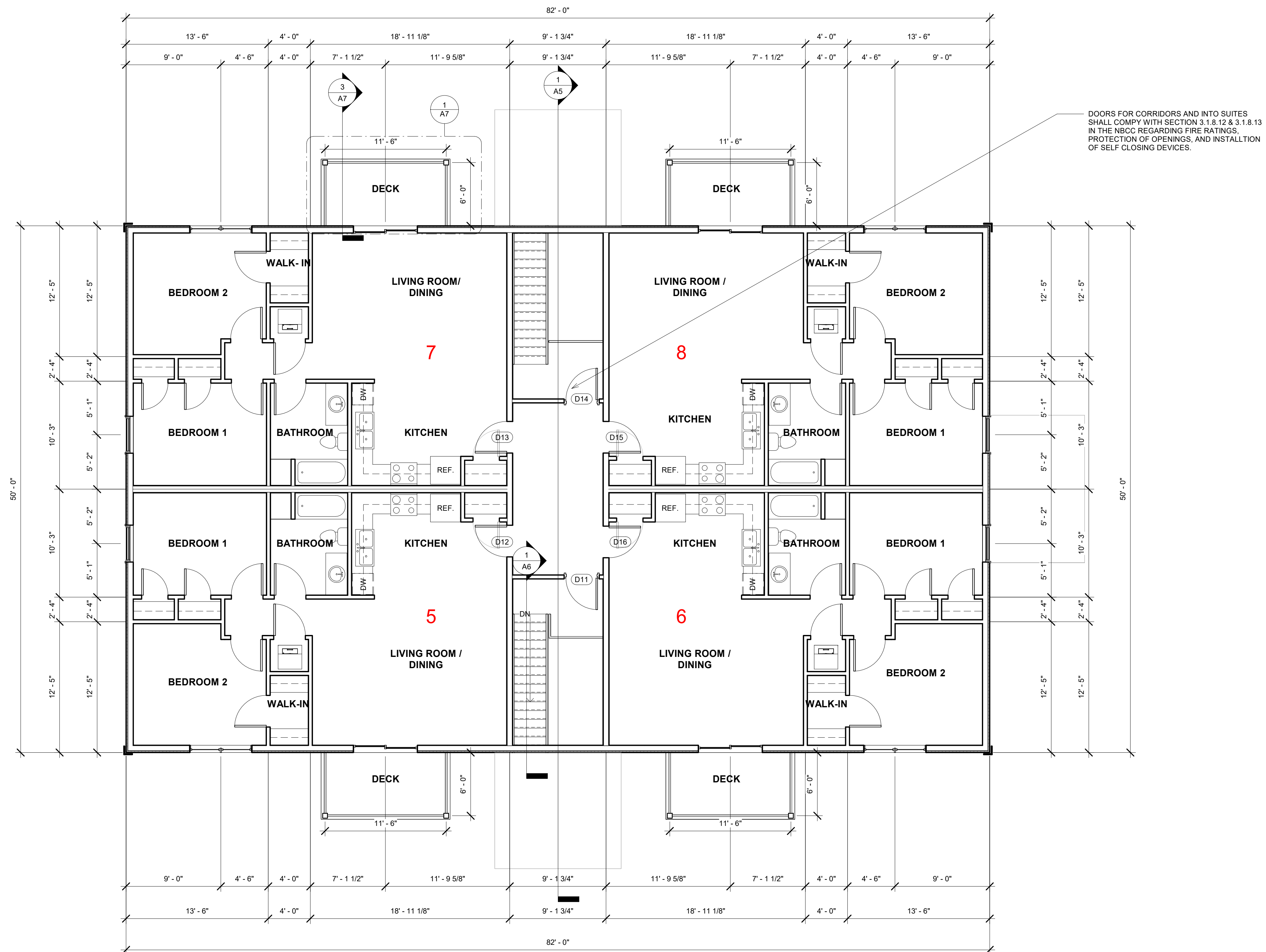
ISSUE:

A

JOB NO.

220102

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5. ALL PLUMBING WALLS ARE TO BE SPF. N0.1 2"x6"
6. ALL EXPOSED MATERIALS TO BE PROTECTED FROM ELEMENTS DURING CONSTRUCTION
7. TEMPORARY STRUCTURAL BRACING DURING CONSTRUCTION RESPONSIBILITY OF CONTRACTOR
8. INTERIM CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGNER AREA LOADS FOR THE STRUCTURE.
9. PENETRATIONS AND OPENINGS SHALL BE SEALED
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12. ALL DOOR JAMBS TO BE 6" UNLESS NOTED OTHERWISE.

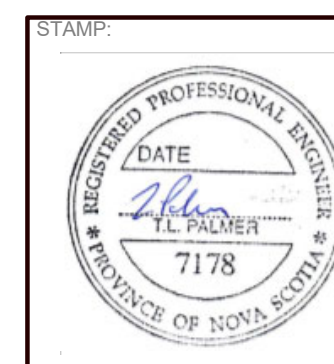


1 SECOND FLOOR PLAN
3/16" = 1'-0"

FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

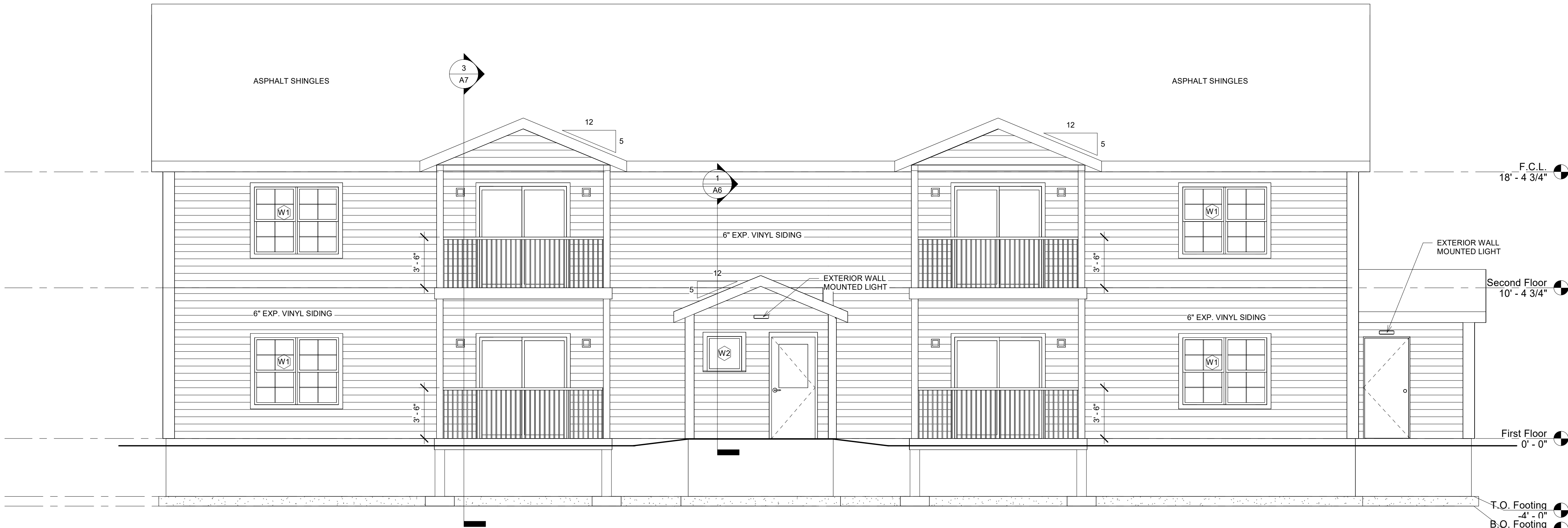
	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:

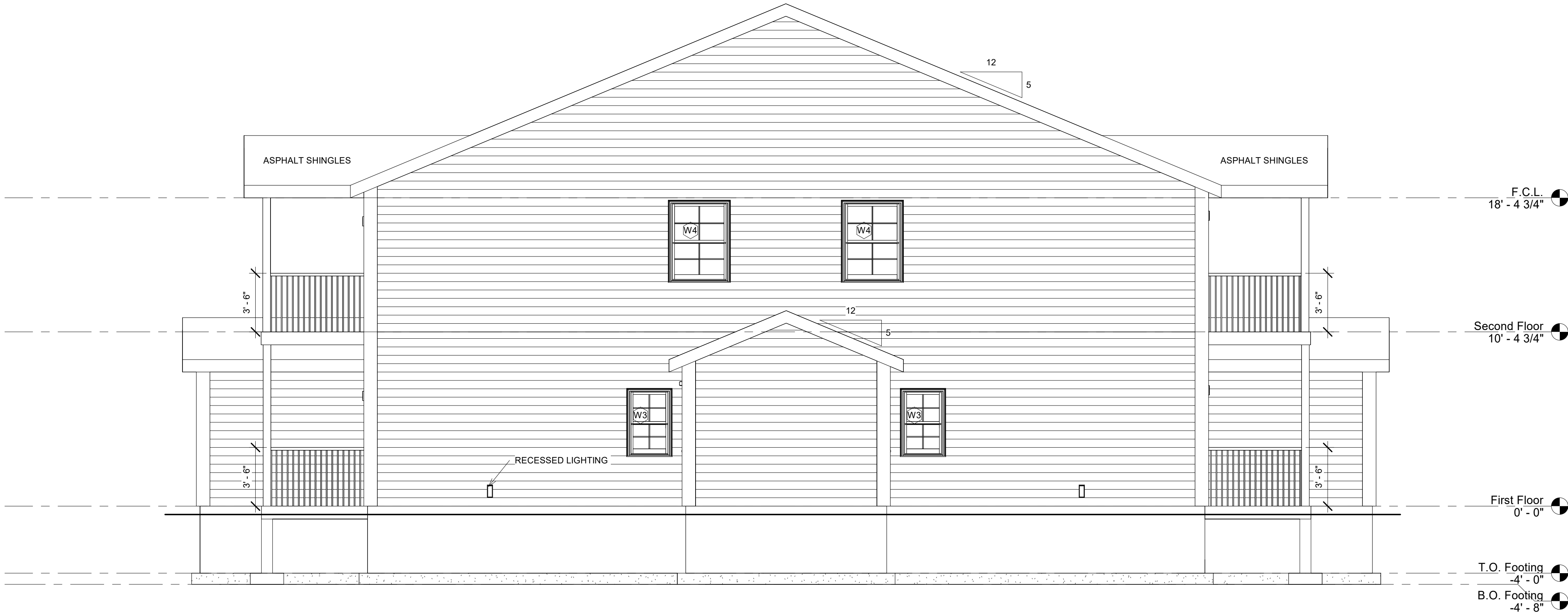


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KENTFIELDS ESTATES - 8 UNIT				A2	
TITLE:				ISSUE:	
SECOND FLOOR PLAN				A	
SCALE:	DATE:	DRAWN:	CHECKED:	JOB NO.	
AS NOTED	02-08-2022	B.M.S.	T.P.	220102	

- GENERAL NOTES
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 NBCC
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING
 - ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS
 - ALL EXTERIOR AND LOAD BEARING WALLS ARE TO BE 2"x6" SPF NO.1, WHILE ALL OTHER INTERIOR WALLS ARE SPF NO.1 2"x4"
 - ALL PLUMBING WALLS ARE TO BE SPF, NO.1 2"x6"
 - ALL EXPOSED MATERIALS TO BE PROTECTED FROM ELEMENTS DURING CONSTRUCTION
 - TEMPORARY STRUCTURAL BRACING DURING CONSTRUCTION RESPONSIBILITY OF CONTRACTOR
 - INTERM. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGNED AREA LOADS FOR THE STRUCTURE.
 - PENETRATIONS AND OPENINGS SHALL BE SEALED
 - SOIL, SNOW, WIND, SEISMIC, AND LIVE LOADS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION
 - CONTRACTOR TO BE RESPONSIBLE FOR ALL SITE ENGINEERING
 - ALL DOOR JAMBS TO BE 6" UNLESS NOTED OTHERWISE



① FRONT ELEVATION
1/4" = 1'-0"



② RIGHT SIDE ELEVATION
1/4" = 1'-0"

NOTES:

FOR PERMIT

FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

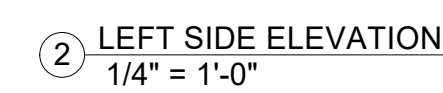
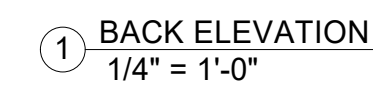
	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:



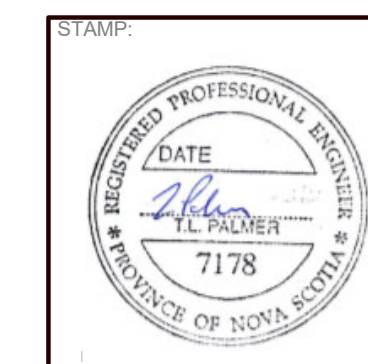
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TITLE: ELEVATIONS				ISSUE: A
SCALE: AS NOTED	DATE: 02-08-2022	DRAWN: B.M.S	CHECKED: T.P.	JOB NO: 220102

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 NBCC
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING
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8. INTERIM CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGNED AREA LOADS FOR THE STRUCTURE.
9. PENETRATIONS AND OPENINGS SHALL BE SEALED
10. SOIL, SLOPE, WIND, SEISMIC, AND LIVE LOADS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION
11. CONTRACTOR TO BE RESPONSIBLE FOR ALL SITE ENGINEERING
12. ALL DOOR JAMBS TO BE 6" UNLESS NOTED OTHERWISE.



FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

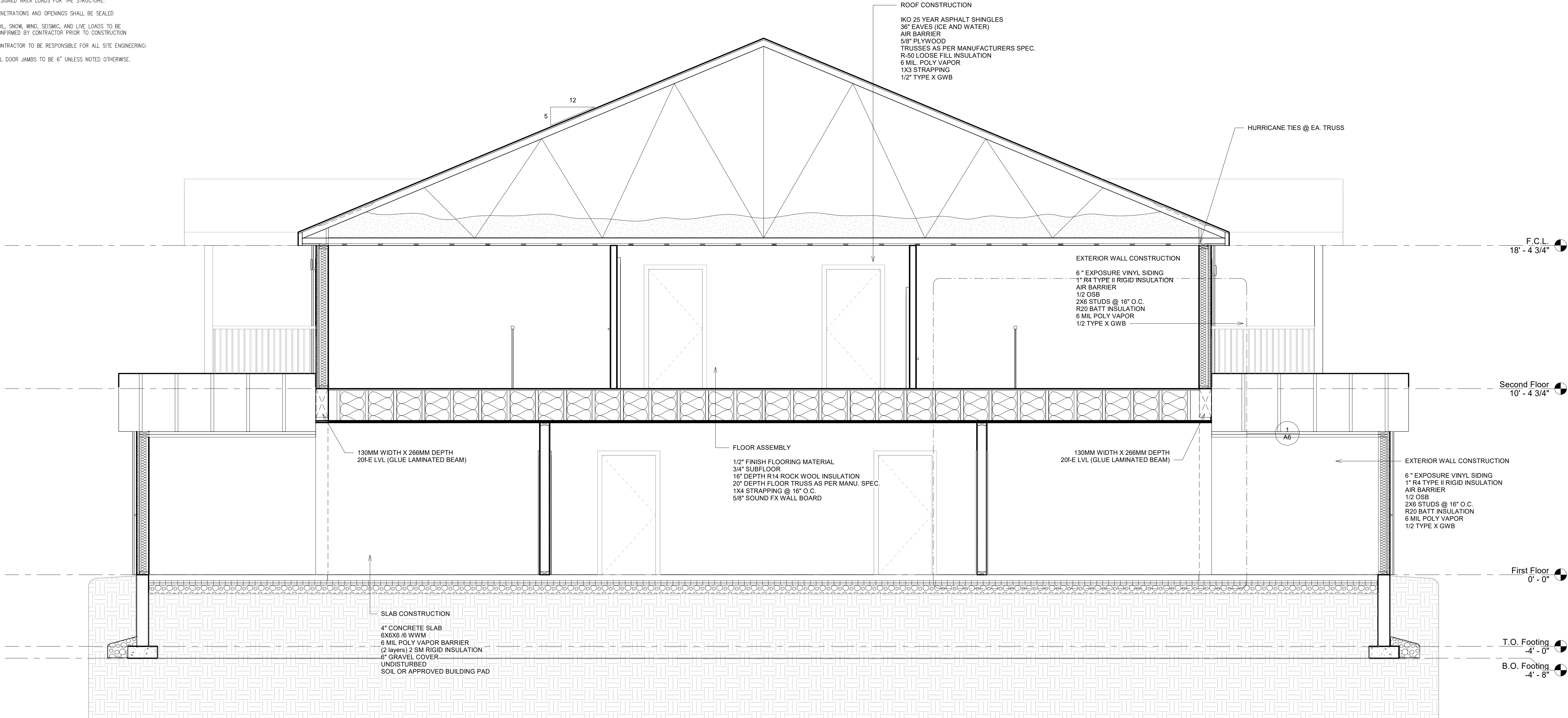
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NO.	DESCRIPTION:	DATE:
REVISIONS		



PROJECT:				DWG:	
KENTFIELDS ESTATES - 8 UNIT				A4	
TITLE:				ISSUE:	
ELEVATIONS				A	
SCALE:	DATE:	DRAWN:	CHECKED:	JOB NO:	
AS NOTED	02-08-2022	B.M.S	T.P.	220102	

GENERAL NOTES

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① CROSS SECTION
3/8" = 1'-0"

NOTES:

FOR PERMIT

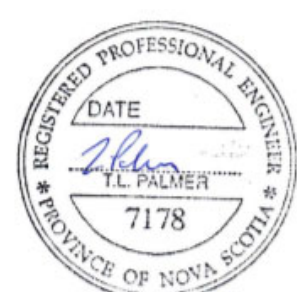
FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

NO. 2	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.1	INSULATION REVISED	21.11.2022
NO.	DESCRIPTION:	DATE:
REVISIONS		

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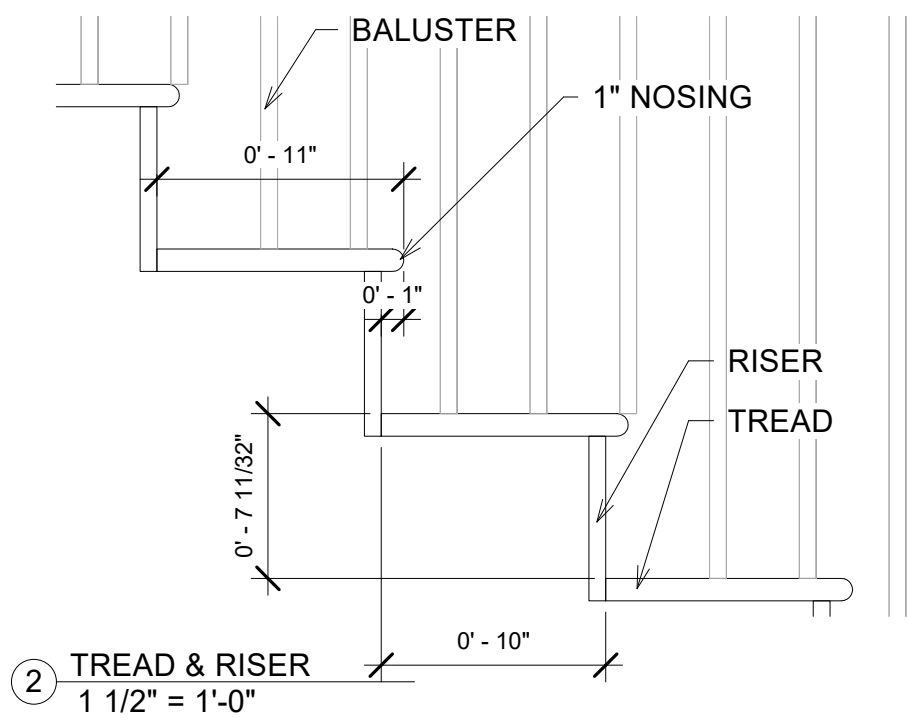
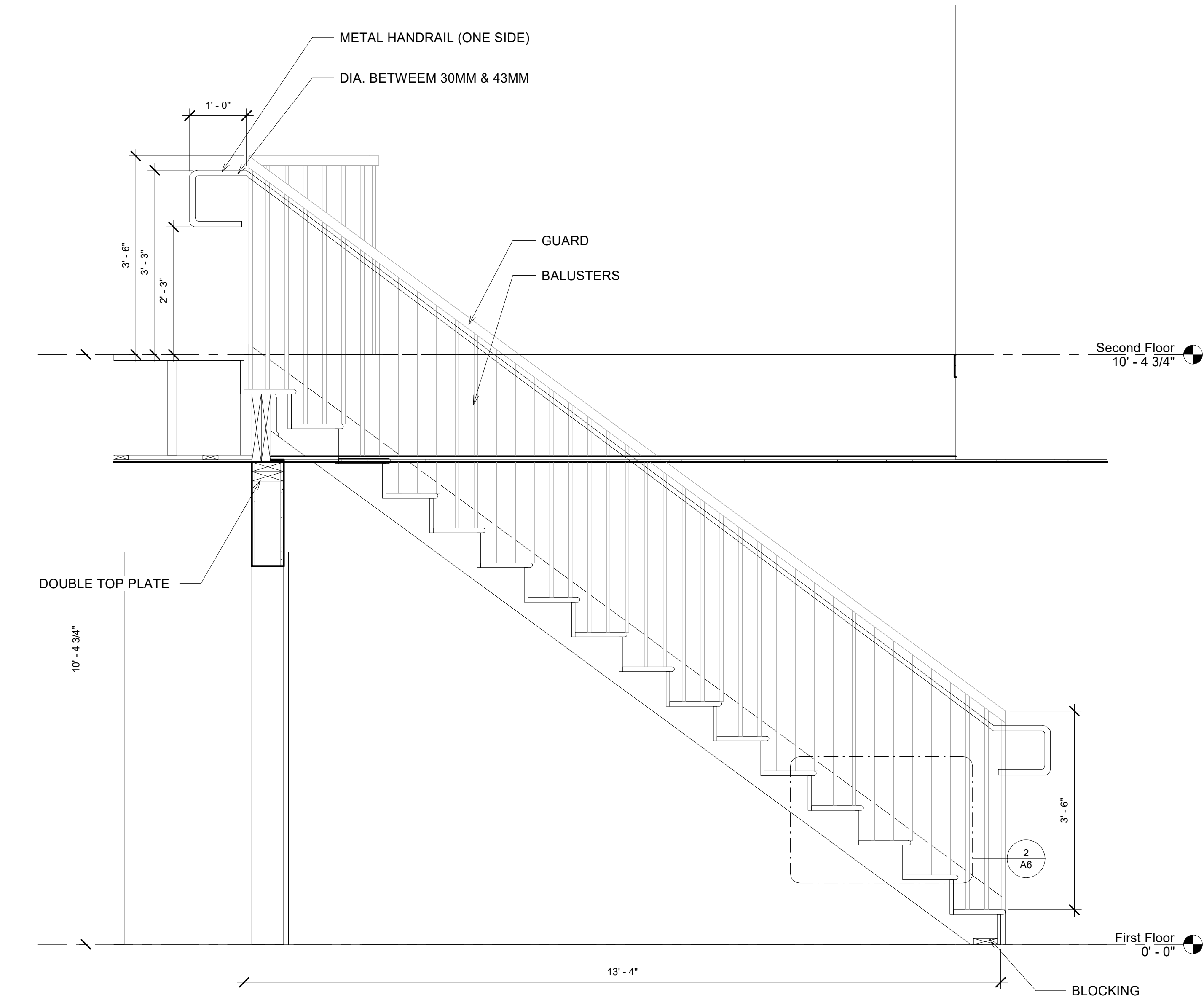


STAMP:



PROJECT: KENTFIELDS ESTATES - 8 UNIT				DWG: A5
TITLE: CROSS SECTION				ISSUE: A
SCALE: AS NOTED	DATE: 02-08-2022	DRAWN: B.M.S	CHECKED: T.P.	JOB NO: 220102

- GENERAL NOTES
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1 STAIR SECTION
3/4" = 1'-0"

NOTES:

FOR PERMIT

FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

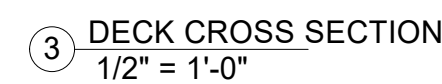
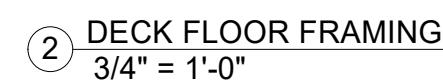
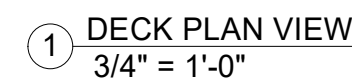
	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:



PROJECT:			DWG:	
KENTFIELDS ESTATES - 8 UNIT			A6	
TITLE:			ISSUE:	
STAIR CONSTRUCTION			A	
SCALE:	DATE:	DRAWN:	CHECKED:	JOB NO.
AS NOTED	29-08-2022	B.M.S	T.P.	220102

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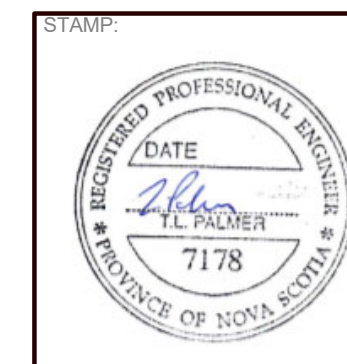


FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.	DESCRIPTION:	DATE:
REVISIONS		

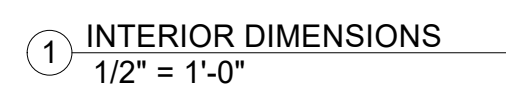


PALMER & DOHERTY
CONSULTING INC.



PROJECT:				DWG:	
KENTFIELDS ESTATES - 8 UNIT				A7	
TITLE:				ISSUE:	
DECK CONSTRUCTION				A	
SCALE:	DATE:	DRAWN:	CHECKED:	JOB NO.	
AS NOTED	16-08-2022	B.M.S	T.P.	220102	

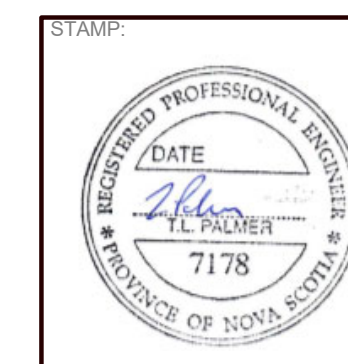
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FOR PERMIT

FOR CONSTRUCTION DRAWING SET AND QUESTIONS
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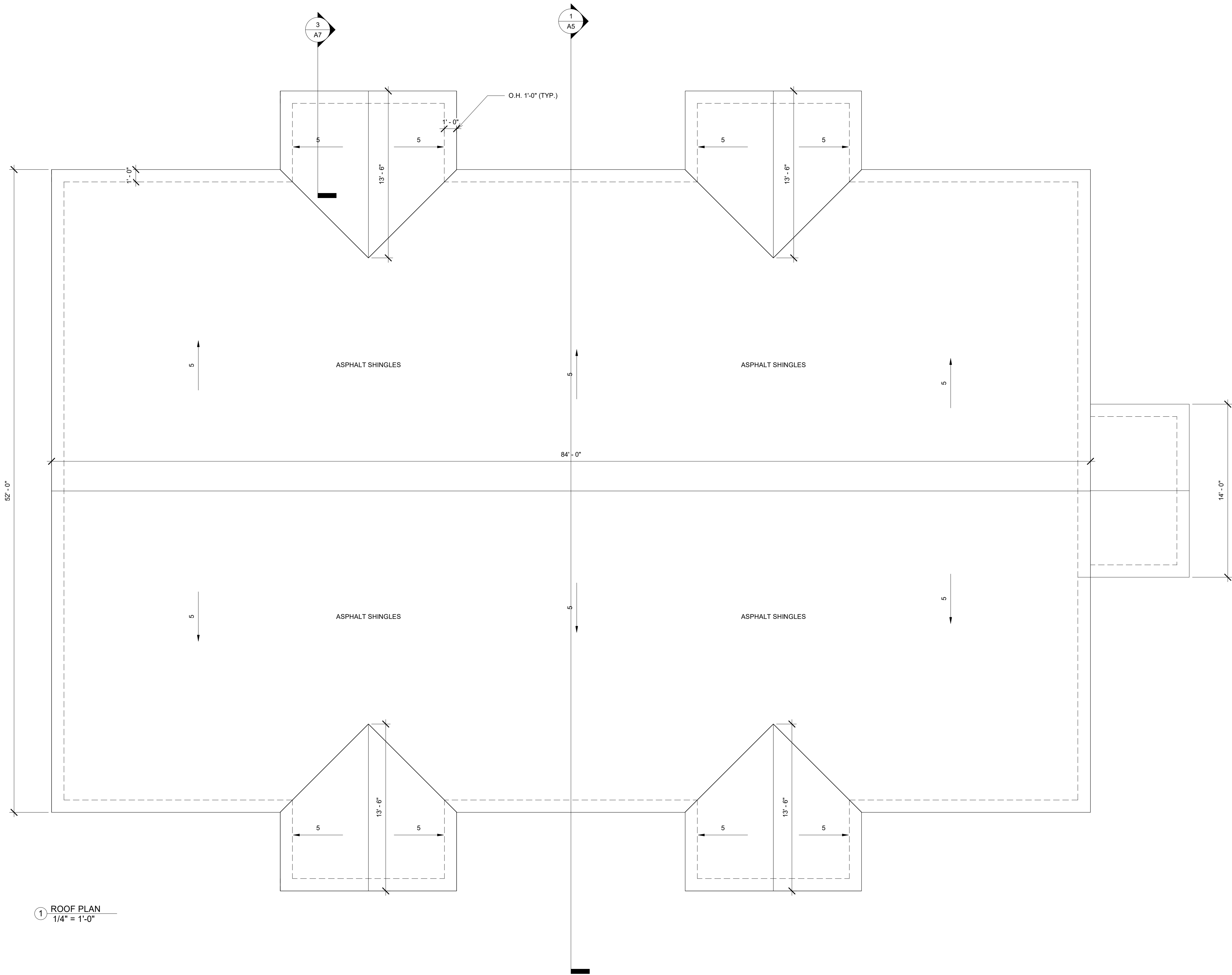
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NO.	DESCRIPTION:	DATE:
REVISIONS		



PROJECT:				DWG: A8
KENTFIELDS ESTATES - 8 UNIT				
TITLE:				ISSUE:
INTERIOR DIMENSIONS				
SCALE:	DATE:	DRAWN:	CHECKED:	A
AS NOTED	26-08-2022	B.M.S	T.P.	JOB NO 220102

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1 ROOF PLAN
1/4" = 1'-0"

NOTES:

FOR PERMIT

FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.	DESCRIPTION:	DATE:
REVISIONS		

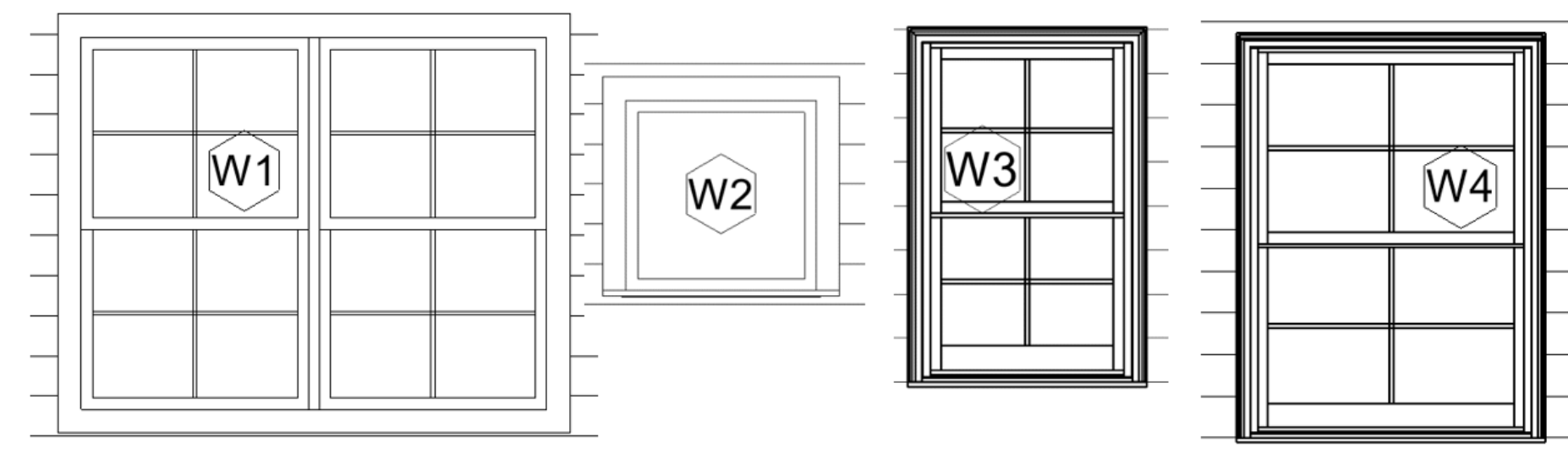
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PROJECT:				DWG:
KENTFIELDS ESTATES - 8 UNIT				A9
TITLE:				ISSUE:
ROOF PLAN				A
SCALE:	DATE:	DRAWN:	CHECKED:	JOB NO:
AS NOTED	02-08-2022	B.M.S	T.P.	220102

WINDOW SCHEDULE

SYM IDENT.	TYPE	ROUGH OPENING	SILL HEIGHT	QUANTITY	MODEL #	NOTES
W1	SINGLE UNIT DOUBLE	60" X 72"	2'-2 3/4"	8		LOW-E, ARGON FILLED 2X2 GRID
W2	FIXED	30" X 30"	4'-7 1/4"	2		LOW-E, ARGON FILLED
W3	SINGLE HUNG	48" X 30"	3'-0"	2		LOW-E, ARGON FILLED 2X2 GRID
W4	SINGLE HUNG	57" X42"	3'-0"	6		LOW-E, ARGON FILLED 2X2 GRID



FIRST FLOOR COORIDOR - DOOR SCHEDULE

SYM. IDENT.	SIZE	STYLE	MODEL #	TYPE	SWING	NOTES
D1	36"X 80"	INSULATED ENRTY DOOR		A	RHR	½ LITE
D2	36"X80"	MAN DOOR- INTERIOR CORRIDOR		B	RHR	20 MIN FIRE RATED, ½ LITE
D3	36"X80"	MAN DOOR		C	LH	20 MIN FIRE RATED
D4	36"X80"	MAN DOOR		C	LH	20 MIN FIRE RATED
D5	36"X80"	MAN DOOR- INTERIOR CORRIDOR		B	LHR	20 MIN FIRE RATED, ½ LITE
D6	36"X80"	INSULATED ENRTY DOOR		A	LHR	½ LITE
D7	36"X80"	MAN DOOR		C	RH	20 MIN FIRE RATED
D8	36"X80"	MAN DOOR		C	RH	20 MIN FIRE RATED
D9	30"X80"	STORAGE		D	LH	NOT PUBLIC- STORAGE
D10	30"X80"	STORAGE		D	RH	NOT PUBLIC- STORAGE

SECOND FLOOR COORIDOR - DOOR SCHEDULE

SYM. IDENT.	SIZE	STYLE	MODEL #	TYPE	SWING	NOTES
D11	36"X80"	MAN DOOR- INTERIOR CORRIDOR		B	RHR	20 MIN FIRE RATED, ½ LITE
D12	36"X80"	MAN DOOR		C	RH	20 MIN FIRE RATED, ½ LITE
D13	36"X80"	MAN DOOR		C	LH	20 MIN FIRE RATED, ½ LITE
D14	36"X80"	MAN DOOR- INTERIOR CORRIDOR		B	RHR	20 MIN FIRE RATED, ½ LITE
D15	36"X80"	MAN DOOR		C	LH	20 MIN FIRE RATED, ½ LITE
D16	36"X80"	MAN DOOR		C	RH	20 MIN FIRE RATED. ½ LITE

MECHANICAL ROOM

SYM. IDENT.	SIZE	STYLE	TYPE	SWING
D17	36"x80"	EXTERIOR STEEL	H	RHR
D18	36"x80"	EXTERIOR STEEL	H	LHR

UNITS 1&3

SIZE	STYLE	TYPE	QUANTITY
36"x80"	INTERIOR DOOR	E	6 5
30"x80"	INTERIOR DOOR	F	3
72"x84"	SLIDING PATIO	G	1

UNITS 2,4,5,6,7 & 8

SIZE	STYLE	TYPE	QUANTITY
36"x80"	INTERIOR DOOR	E	5
30"x80"	INTERIOR DOOR	F	3
72"x84"	SLIDING PATIO	G	1

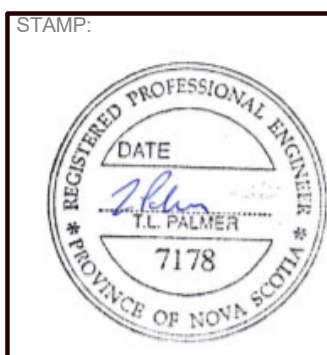
NOTES

FOR PERMIT

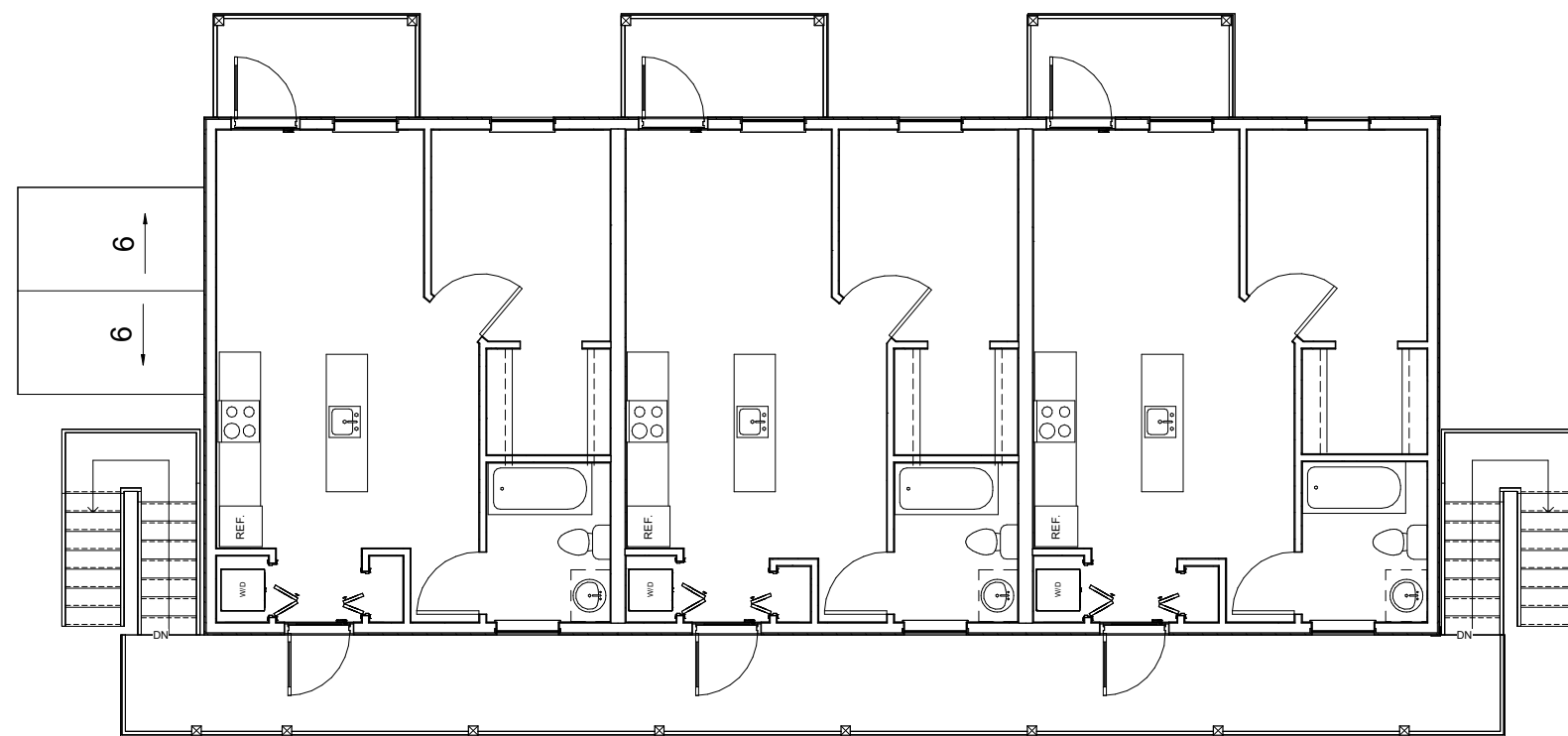
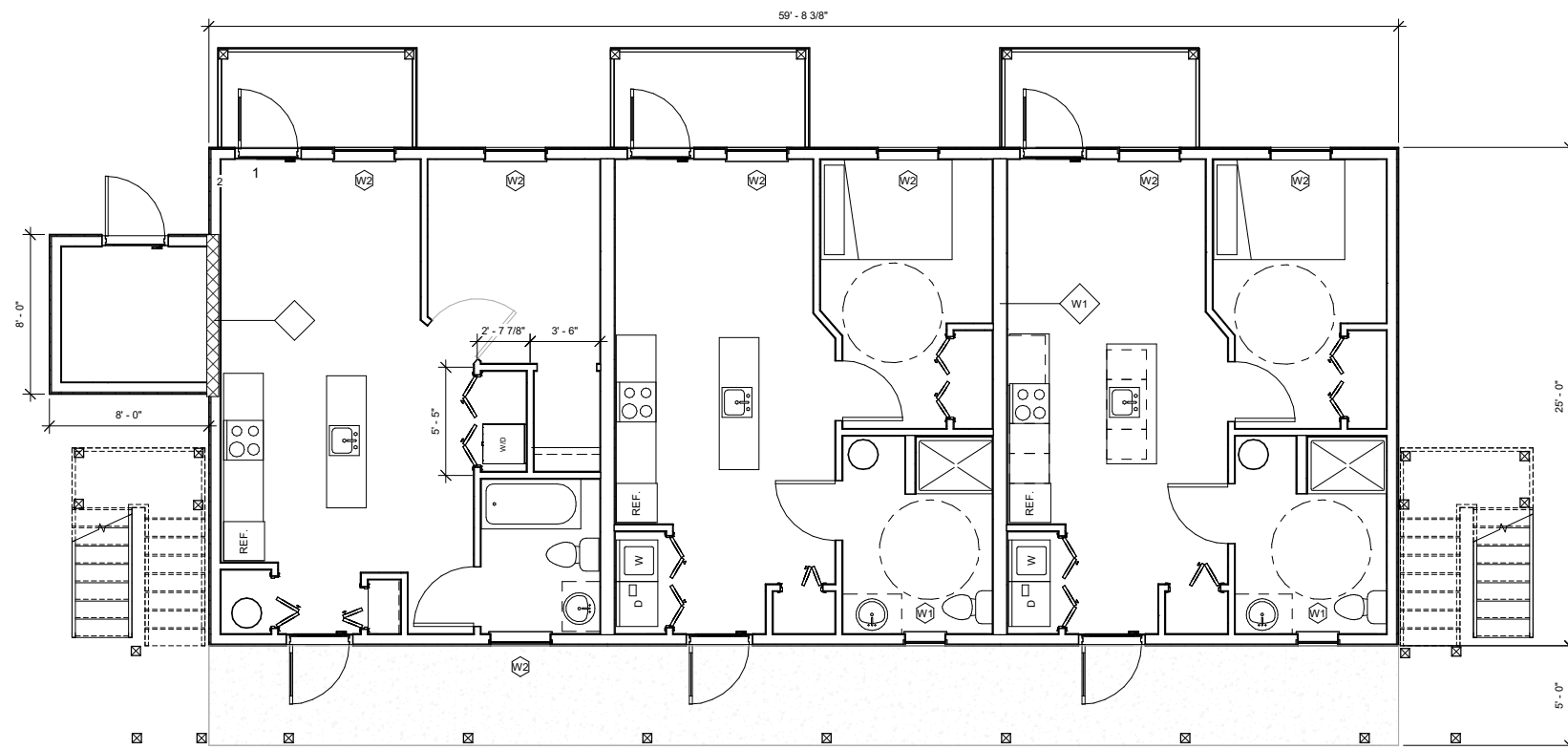
FOR CONSTRUCTION DRAWING SET AND QUESTIONS
PLEASE CONTACT 902-242-2725

	DOOR CHANGES SEE SCHEDULE	27-01-2023
NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:



PROJECT:				DWG.	
KENTFIELDS ESTATES - 8 UNIT				A10	
TITLE:				ISSUE:	
SCHEDULES				A	
SCALE:	DATE:	DRAWN:	CHECKED:	JOB NO.	
AS NOTED	29-08-2022	B.M.S	T.P.	220102	



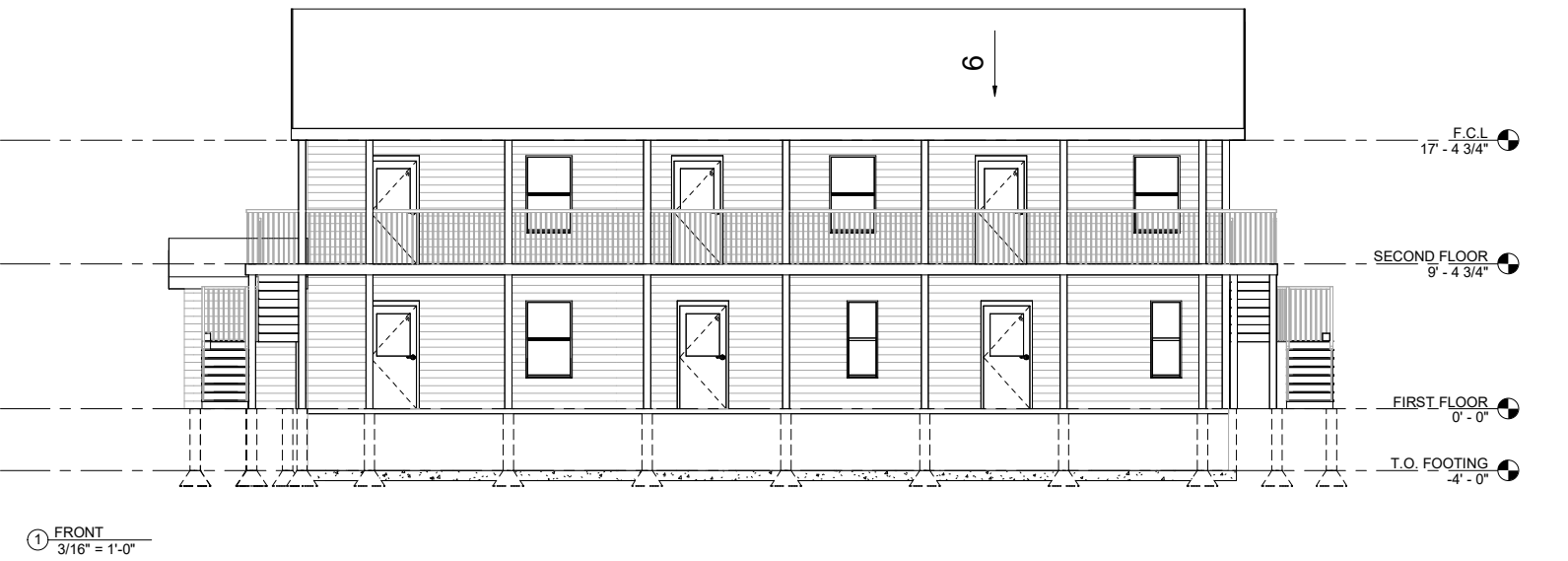
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NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:



PROJECT				DWG.	
6 UNIT KENT FIELD ESTATES				A-1	
TITLE				ISSUE:	
FIRST FLOOR PLAN					
SCALE:	DATE:	DRAWN:	CHECKED:	JOB NO.	
AS NOTED	07-05-2024	K.M	N/A		



NOTES:	

NO.	DESCRIPTION:	DATE:
REVISIONS		

LOGO:



PROJECT:		DWG:	
6 UNIT		A-2	
KENT FEILD ESTATES		ISSUE:	
TITLE:		JOB NO.	
ELEVATIONS			
SCALE:	DATE:	DRAWN:	CHECKED:
AS NOTED	07-05-2024	K.M	N/A

SCHEDULE A

SKETCH SHOWING

PROPOSED EASEMENTS OVER

LOT "2025-1", PID 55545107, LOT "2025-2",

PID 55496301 & LOT "2025-3", PID 55507354

LANDS CONVEYED TO

KENT FIELD ESTATES LTD.

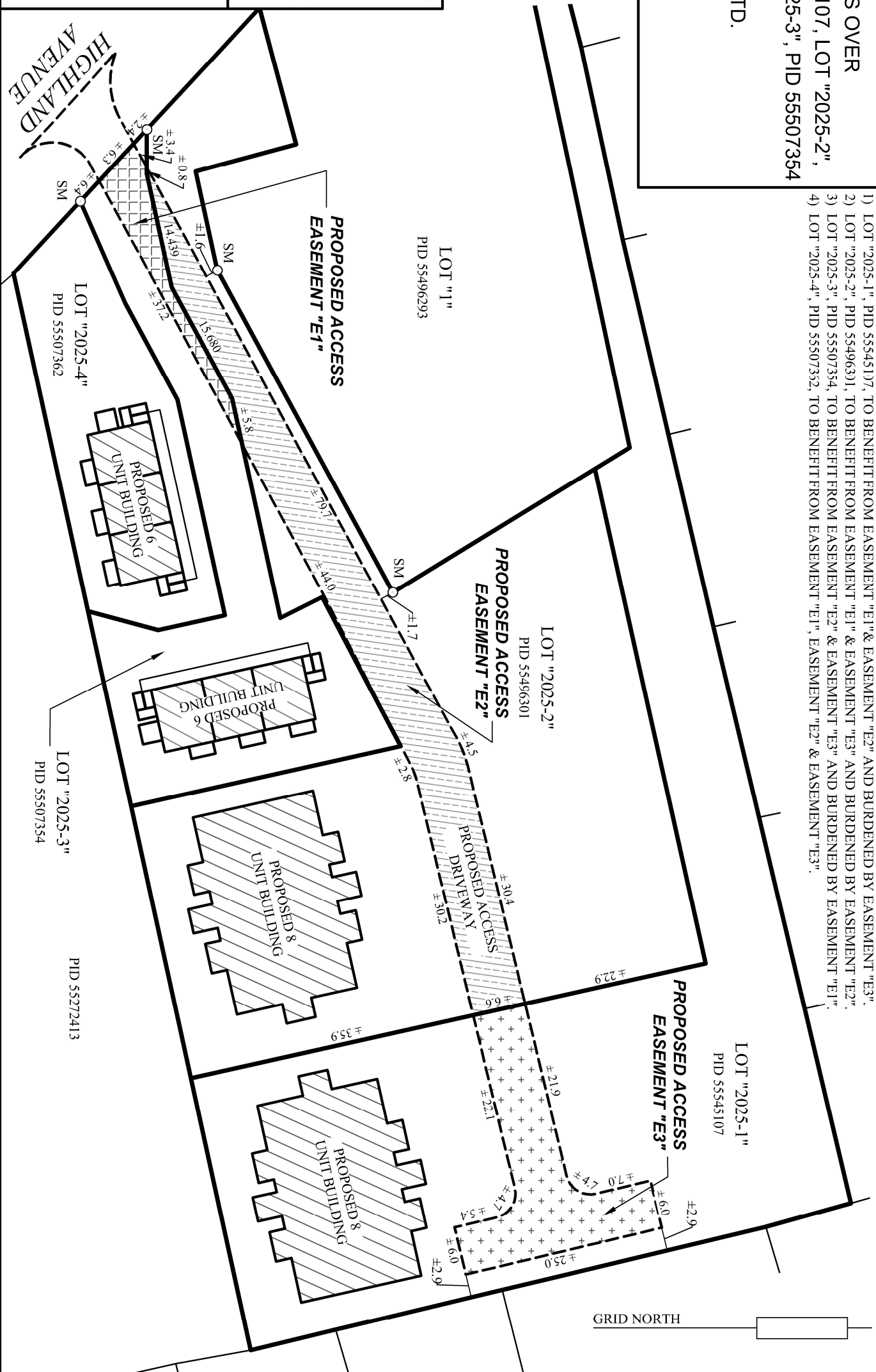
HIGHLAND AVENUE

WOLFVILLE

KINGS COUNTY

NOTES:

- 1) LOT "2025-1", PHD 55545107, TO BENEFIT FROM EASEMENT "E1" & EASEMENT "E2" AND BURDENED BY EASEMENT "E3".
- 2) LOT "2025-2", PHD 5549631, TO BENEFIT FROM EASEMENT "E1" & EASEMENT "E3" AND BURDENED BY EASEMENT "E2".
- 3) LOT "2025-3", PHD 55507334, TO BENEFIT FROM EASEMENT "E2" & EASEMENT "E3" AND BURDENED BY EASEMENT "E1".
- 4) LOT "2025-4", PHD 55507332, TO BENEFIT FROM EASEMENT "E1", EASEMENT "E2" & EASEMENT "E3".



SCHEDULE A

SKETCH SHOWING

PROPOSED EASEMENTS OVER

LOT "2025-1", PID 55545107, LOT "2025-2",

PID 55496301 & LOT "2025-3", PID 55507354

LANDS CONVEYED TO

KENT FIELD ESTATES LTD.

HIGHLAND AVENUE

WOLFVILLE

KINGS COUNTY

NOTES:

- 1) LOT "2025-1, PID 5554517, TO BENEFIT FROM EASEMENT "P3", EASEMENT "P4" & EASEMENT "P6" AND BURDENED BY EASEMENT "P5".
- 2) LOT "2025-2", PID 5549631, TO BENEFIT FROM EASEMENT "P5" AND BURDENED BY EASEMENT "P2, EASEMENT "P3", EASEMENT "P4" & EASEMENT "P6".
- 3) LOT "2025-3", PID 55507354, TO BENEFIT FROM EASEMENT "P2", EASEMENT "P3", EASEMENT "P4" & EASEMENT "P5" AND BURDENED BY EASEMENT "P1".
- 4) LOT "2025-4", PID 55507352, TO BENEFIT FROM EASEMENT "P1", EASEMENT "P2", EASEMENT "P3", EASEMENT "P4" & EASEMENT "P5".

