



SITE PLAN APPROVAL APPLICATION

Date 29 Aug 25 Applicant: Heather Bown for Pentagon Properties Ltd

Mailing Address: 1 Trillium Terrace, Halifax, NS, B3M 3P5

Email: hb@cowork-architecture.com Phone: 902-488-2873

Project Location: 250 Main Street, Wolfville, NS

Project Details: Addition to existing C2 residential building (add 5 units)

PID: 55278642

This application must be accompanied by plans prepared by a qualified professional (i. e. engineer, architect, landscape architect, surveyor, etc.) as described in part 2.10 of the Land Use Bylaw. The plans are to be based on the best available and most current mapping or aerial images and include the following:

OFFICE USE ONLY:

Application #: SP-009-2025

Fee: 150.00

Date Paid: _____

Approved by: _____

Date Approved: _____

Appeal
Received: _____

Hearing
Date: _____

Appeal Decision: _____

LRO Registration #: _____

Registration Date: _____

North arrow, scale, legend, and drawing/revision dates. The type of plan (e.g. Site Plan) must appear in the title block in the lower right portion of the drawing.

Stormwater Management Plan in accordance with the Town of Wolfville Stormwater Management Design Guidelines.

Topographical Survey (no more than 5 years old) reflecting existing topographic and boundary conditions

Servicing Schematic including the following:

- sewer lateral locations including size.
- water lateral locations including size.
- existing trunk services that will service the property.

Site Plan and Conceptual Grading Plan which includes the following:

Architectural Plans which include the following:

- a key plan, property identification (PID#, lot number, and/or civic number) and name of property owner.
- footprint and area of proposed buildings, setbacks from all property boundaries and location of any existing building or structures to be retained or demolished.
- driveway locations and surface parking area.
- landscaping, including fences, walls, stormwater features, landscape beds, trees, etc.

- streetwall height and setbacks pursuant to each zone.
- building elevations and articulation on all sides including signage and lighting.
- notes on building material intentions.
- floor plans for every level.
- perspective rendering of the building or 3D Sketchup model.

Any other information deemed necessary by the Development Officer to determine compliance with the zone requirements.

Traffic Impact Study (for buildings over 8 units or 1200 square metres).

I certify that I am submitting this application, including all of the required supporting information, for approval with the consent of the owner(s) of the subject property(s). The owner(s) has/have seen the proposal and have authorized me to act as the applicant for this application.

29 Aug 2025

Applicant Signature

Date

DRAWING LIST:

A001: COVER PAGE & LUB OVERVIEW

A100: PROPOSED SITE PLAN

A103: PROPOSED PLAN: LEVEL 1

A104: PROPOSED PLAN: LEVEL 2

A105: PROPOSED FOUNDATION PLAN

A201: EXISTING ELEVATIONS - SOUTH & WEST

A202: EXISTING ELEVATIONS - NORTH & EAST

A203: PROPOSED ELEVATIONS - SOUTH & WEST

A204: PROPOSED ELEVATIONS - NORTH & EAST

250 MAIN STREET, WOLFVILLE, NOVA SCOTIA

PROJECT INFORMATION:

ADDRESS: 250 MAIN STREET, WOLFVILLE, NS, B4P 2J4
PID: 55278642
CONVEYED TO: PENTAGON PROPERTIES LIMITED
LOT AREA: +/-2868m² (+/-30,870 SF)
PERMIT NUMBER: TBC
TOWN OF WOLFVILLE: LAND USE BYLAW (30 JUNE 2020 EDITION)

CONSTRUCTION SCOPE: ADDITION TO AND RENOVATION OF EXISTING RESIDENCE

WOLFVILLE LUB SUMMARY:

ZONE: C-2 - NEIGHBOURHOOD COMMERCIAL

QUANTITY OF UNITS: 8 (3 EXISTING, 5 PROPOSED AS PART OF THIS SITE PLAN APPROVAL APPLICATION)

LUB 6.1(3) - PARKING REQUIREMENTS:
- ONLY THE NEW USEABLE FLOOR AREA (OR NEW SEATING CAPACITY) SHALL BE INCLUDED IN THE PARKING CALCULATIONS FOR A DEVELOPMENT PROPOSAL THAT INCLUDES THE EXPANSION OF AN EXISTING USE.

LUB TABLE 6.1 - RESIDENTIAL PARKING REQUIREMENTS:

LAND USE BY-LAW TABLE 6.1: FIVE PROPOSED SUITES
a) PHASE 2 - SUITE #1 - 2 STOREY, 2 BEDROOM
b) PHASE 2 - SUITE #2 - 2 STOREY, 2 BEDROOM
c) PHASE 2 - SUITE #3 - 2 STOREY, 2 BEDROOM
d) PHASE 2 - SUITE #4 - 2 STOREY, 2 BEDROOM
e) PHASE 2 - SUITE #5 - 2 STOREY, 2 BEDROOM
f) TOTAL PARKING: 6 SPACES (1.25 x 5 = 6.25 ROUNDED DOWN TO 6 AS PERMITTED BY LUB)

LUB 6.5 (8) PARKING STANDARDS:
- STALLS SHALL BE NO LESS THAN 2.8m x 5.8m (APPROX. 9'-0" x 18'-0") IN SIZE UNLESS 'SMALL CAR' SPACES ARE BEING CONSIDERED BY THE SITE PLAN APPROVAL OR DEVELOPMENT AGREEMENT.
- NOTE: SMALL CAR IS NOT DEFINED IN THE WOLFVILLE LUB. THE PARKING SPACES SHOWN ON THE ATTACHED SITE PLAN ARE 8'-0" x 16'-0" USING HRM LUB AS PRECEDENT.

LUB 11.2 - PERMITTED USES (SEE TABLE 8.1 OF LUB):
- RESIDENTIAL DWELLINGS, MULTI-UNIT, 3-8 UNITS TOTAL

LUB 11.4 - AMENITY SPACE:
- 15m² PER DWELLING UNIT FOR EACH BUILDING EXCEEDING 4 UNITS IN SOME ZONES.
- NO AMENITY REQUIREMENT FOR THIS DEVELOPMENT (ZONE C-2)

250 MAIN STREET, WOLFVILLE, NOVA SCOTIA

LUB 16.6 - BUILDING HEIGHT:
- 3 STOREY MAXIMUM
- 3 STOREY PROPOSED (PLUS BASEMENT)

LUB 16.6 - REAR YARD SETBACK:
- 4m MINIMUM
- 4m PROPOSED

LUB 16.6 - SIDE YARD SETBACK:
- 2m MINIMUM
- 2m PROPOSED

LUB 16.6 - HARD SURFACE LOT COVERAGE:
- 40% MAXIMUM (& UP TO 50% IN SOME CIRCUMSTANCES)
- +/- 2% PROPOSED

LUB 16.6 - FRONT YARD SETBACK:
- 4.5m MINIMUM
- 4.5m PROPOSED

LUB 16.6 - LOT FRONTAGE:
- 12m MINIMUM FOR MULTI-UNIT
- +/-46m PROPOSED (EXISTING)

LUB 16.6 - MINIMUM LOT AREA:
- 100m² MINIMUM / UNIT
- APPROX. 2867.9m² PROPOSED



STAMP:



ISSUE SCHEDULE

1	SITE PLAN APPROVAL	29 AUG 2025
No	DESCRIPTION:	DATE:

REVISION SCHEDULE

No	DESCRIPTION:	DATE:

ADDRESS:

250 MAIN STREET
WOLFVILLE, NOVA SCOTIA
PHASE 2

TITLE:

COVER PAGE &
LUB REVIEW

DRAWN: JB	CHECKED: HB
SCALE: N/A	DATE: 29 AUG 2025
DRAWING NO: A-001	NORTH:
PROJECT NO: 2025 - XX	

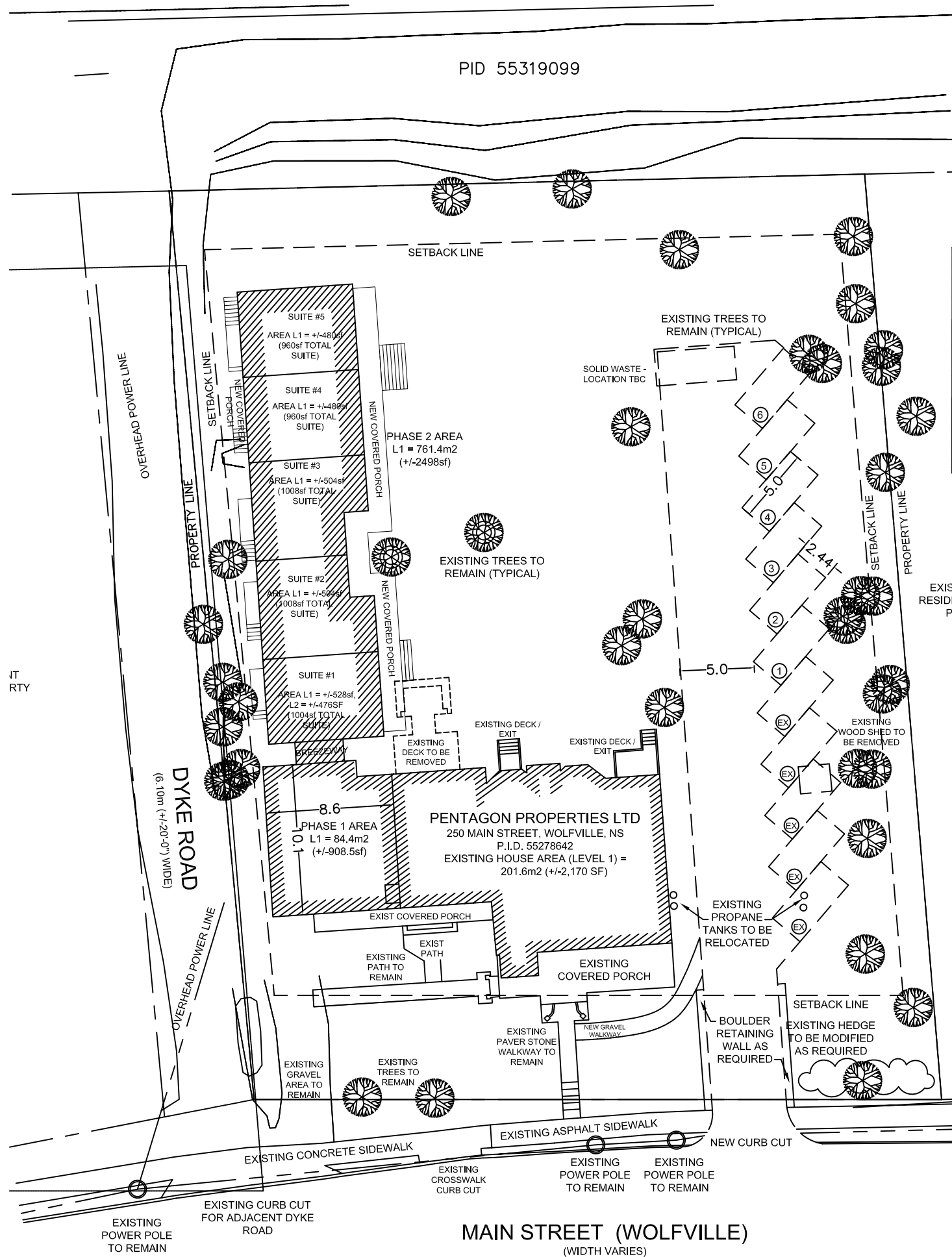
EXISTING HOUSE	+/-201.6m ²	+/-2,170.0 SF
PHASE 1 NEW CONSTRUCTION	+/-81.6m ²	+/-878.3 SF
PHASE 2 PROPOSED	+/-232.1m ²	+/-2,498.0 SF
TOTAL (EXISTING + P1 + P2)	+/-515.3m ²	+/-5,458.4 SF
LOT AREA	+/-2,867.9m ²	+/-30,869.8 SF
LOT COVERAGE (PROPOSED)	+/-18.0%	
ALLOWABLE LOT COVERAGE	+/-40%	

LAND USE BY-LAW NOTES:

- LAND USE BY-LAW: 2 EV CHARGING STATIONS REQUIRED. OWNER TO PROVIDE STUB FOR FUTURE INSTALLATION SHOULD A TENANT REQUIRE IT (LUB 6.5(13)) EXTERIOR PARKING LOTS SHALL PROVIDE ONE LEVEL 1 (120V) CHARGING STATION FOR EVERY 4 SPACES.
- LAND USE BY-LAW 6.7: TOTAL 8 SUITES (5 THIS PHASE, 3 EXISTING)@ 0.25/SUITE = 4 BICYCLE PARKING SPACES REQUIRED. 80-100% CLASS A AND 20% CLASS B. SEE BY-LAW FOR REQUIREMENTS.
- LAND USE BY-LAW TABLE 6.1 PARKING REQUIREMENTS:
 - 1 PARKING SPACE PER DWELLING UNIT PLUS $\frac{1}{2}$ SPACE FOR EACH BEDROOM OVER 3
 - TOTAL 8 SUITES (3 FOR PHASE 1, 5 FOR PHASE 2)
 - TOTAL 10 PARKING (5 FOR PHASE 1, 5 FOR PHASE 2)
 - PHASE 1 (UNDER CONSTRUCTION - FOR EASE OF REFERENCE ONLY):
 - PHASE 1 - SUITE #1 - 1 BEDROOM (1 PARKING SPACE REQUIRED)
 - PHASE 1 - SUITE #2 - 6 BEDROOM (COMPLETELY WITHIN THE ORIGINAL BUILDING - $1 + 1.5 = 2.5$ SPACES ROUNDED DOWN TO NEAREST WHOLE NUMBER = 2 SPACES
 - PHASE 1 - SUITE #3 - 6 BEDROOM (PARTLY IN THE EXISTING BUILDING AND ALL OF THE PHASE 1 ADDITION - $1 + 1.5 = 2.5$ SPACES ROUNDED DOWN TO NEAREST WHOLE NUMBER = 2 SPACES
 - PHASE 1 - TOTAL PARKING = 5 SPACES
 - PHASE 2 (SITE PLAN APPROVAL APPLICATION)
 - PHASE 2 - SUITE #1 - 2 BEDROOM (1.25 PARKING SPACE REQUIRED)
 - PHASE 2 - SUITE #2 - 2 BEDROOM (1.25 PARKING SPACE REQUIRED)
 - PHASE 2 - SUITE #3 - 2 BEDROOM (1.25 PARKING SPACE REQUIRED)
 - PHASE 2 - SUITE #4 - 2 BEDROOM (1.25 PARKING SPACE REQUIRED)
 - PHASE 2 - SUITE #5 - 2 BEDROOM (1.25 PARKING SPACE REQUIRED)
 - PHASE 2 - TOTAL PARKING = 6 SPACES (6.25 ROUNDED DOWN TO THE NEAREST WHOLE NUMBER = 6 SPACES)

BUILDING OFFICIAL NOTES (NOT EXHAUSTIVE - FOR REFERENCE ONLY:

- ALL SUITES TO HAVE TWO MEANS OF EGRESS.
- LOCATION OF EGRESS WINDOWS, INCLUDING THOSE IN DWELLING UNITS, TO BE INDICATED ON THE BUILDING PERMIT APPLICATION DRAWINGS.
- WASHROOMS TO BE COMPLIANT WITH NSBC ADAPTABILITY REQUIREMENTS. PROVIDE BLOCKING FOR GRAB BARS, ETC.
- P.ENG. REQUIRED FOR PLUMBING, VENTILATION, STRUCTURAL, FIRE ALARM SYSTEM (FOR THE ENTIRE BUILDING), AND SO FORTH.
- SOLID WASTE STORAGE IS REQUIRED TO ME AT LEAST 3M AWAY FROM THE BUILDING UNLESS STORED IN A NON-COMBUSTIBLE CONTAINER.
- PERMIT SUBMISSION DRAWINGS TO INCLUDE EXIT SIGNAGE, EMERGENCY LIGHTING LOCATIONS, CLOSURE LOCATIONS, SMOKE ALARM LOCATIONS, AND FIRE SEPARATION DETAILS INCLUDING ASSEMBLY DESIGNATIONS.
- DWELLING UNITS TO BE PROVIDED WITH MECHANICAL VENTILATION.
- USE OF FUEL-FIRED APPLIANCES TO BE CONFIRMED DURING DETAILED DESIGN AS PART OF THE BUILDING PERMIT PACKAGE. MAY AFFECT CODE REQUIREMENTS.
- EXIT DOORS MUST SWING IN THE DIRECTION OF EXIT TRAVEL.



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ISSUE SCHEDULE

No	DESCRIPTION:	DATE:
1	SITE PLAN APPROVAL	29 AUG 2025

REVISION SCHEDULE

No	DESCRIPTION:	DATE:

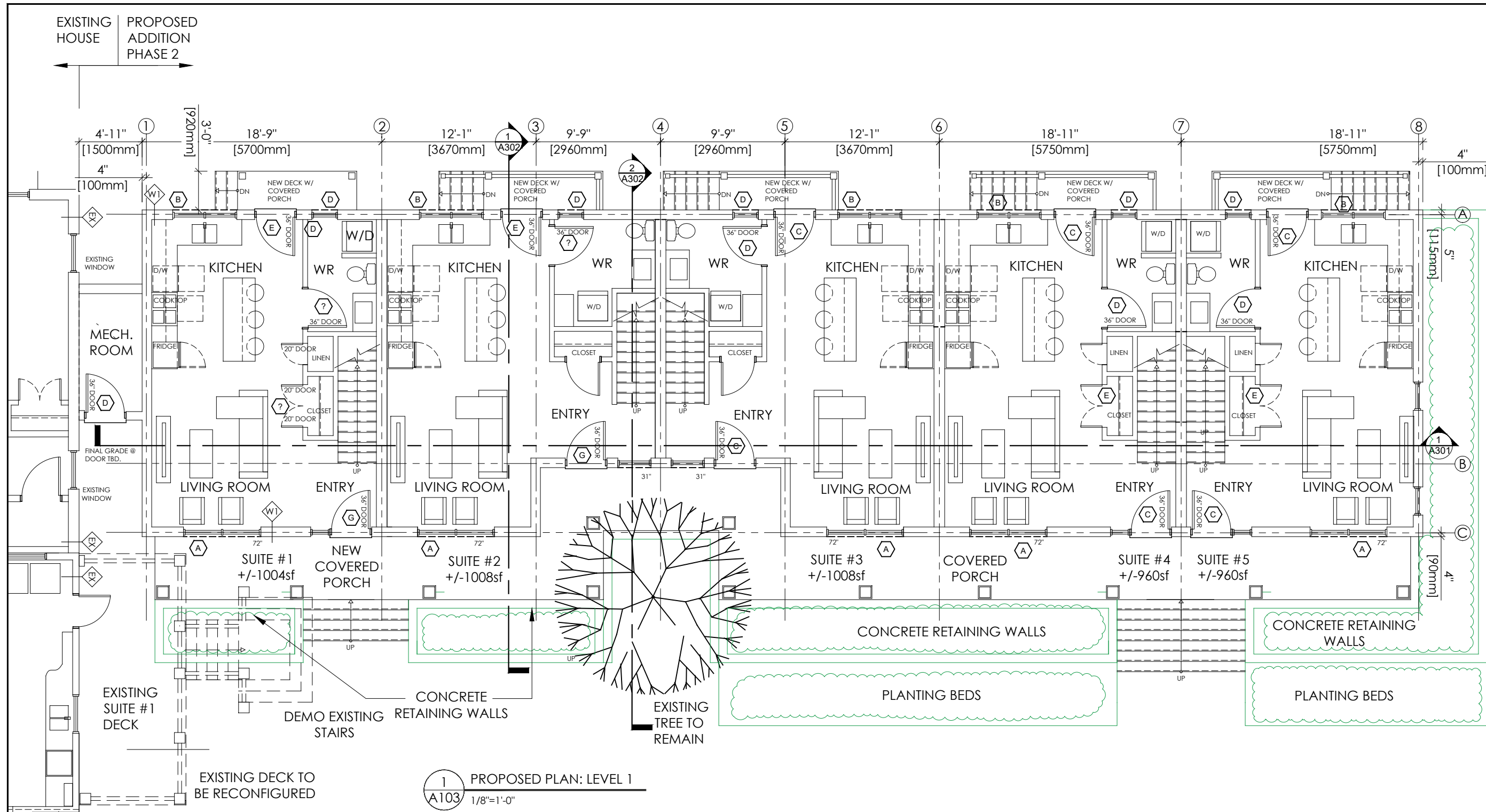
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250 MAIN STREET
WOLFVILLE, NOVA SCOTIA

TITLE:

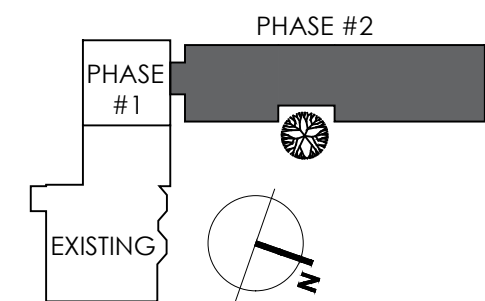
SITE PLAN

DRAWN: JB	CHECKED: HB
SCALE: NOT TO SCALE	DATE: 29 AUG 2025
DRAWING NO: A-100	NORTH:
PROJECT NO: 2025-01	

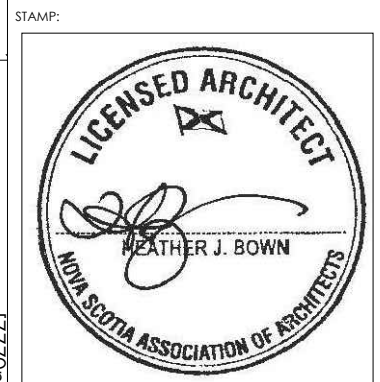


1
A103
PROPOSED PLAN: LEVEL 1
1/8"=1'-0"

KEY PLAN



CO:WORK
COLLABORATIVE ARCHITECTURE

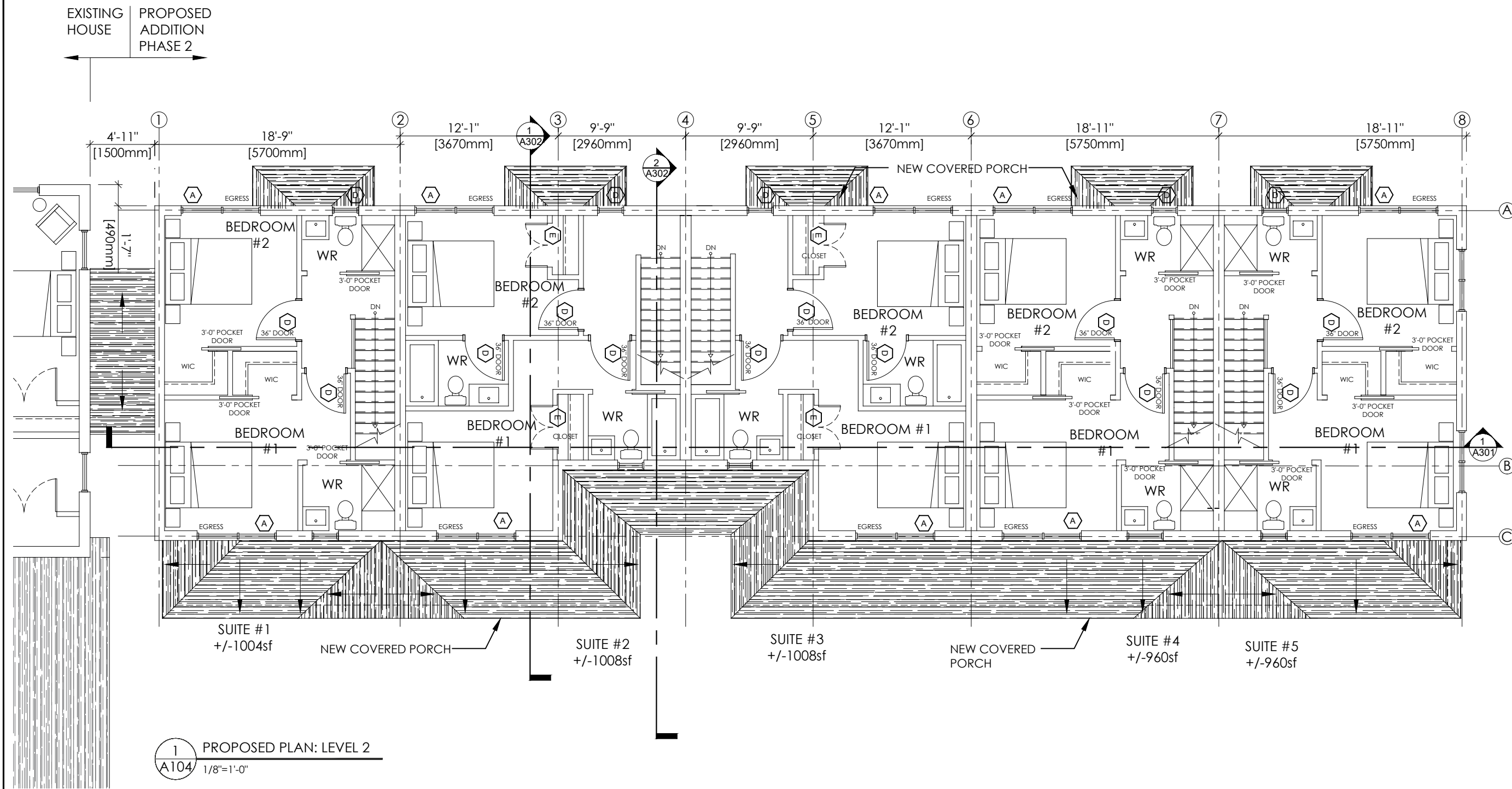


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1	SITE PLAN APPROVAL	29 AUG 2025

REVISION SCHEDULE		
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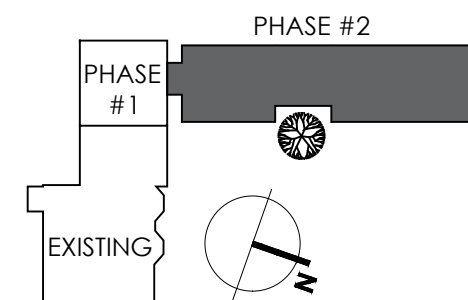
ADDRESS:
250 MAIN STREET
WOLFVILLE, NOVA SCOTIA
PHASE 2

TITLE: PROPOSED PLAN: LEVEL 1		
DRAWN: JB	CHECKED: HB	
SCALE: 1/8" = 1'-0"	DATE: 29 AUG 2025	
DRAWING NO: A-103	NORTH:	
PROJECT NO: 2025-XX		



1
A104
PROPOSED PLAN: LEVEL 2
1/8"=1'-0"

KEY PLAN



CO:WORK
COLLABORATIVE ARCHITECTURE

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ISSUE SCHEDULE

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REVISION SCHEDULE

No	DESCRIPTION:	DATE:

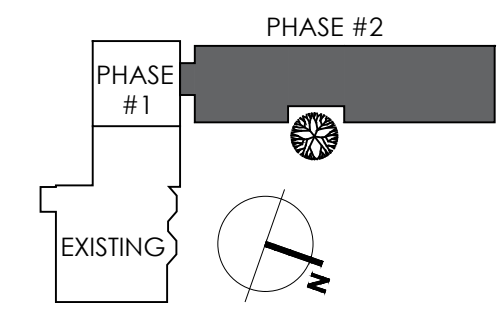
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250 MAIN STREET
WOLFVILLE, NOVA SCOTIA
PHASE 2

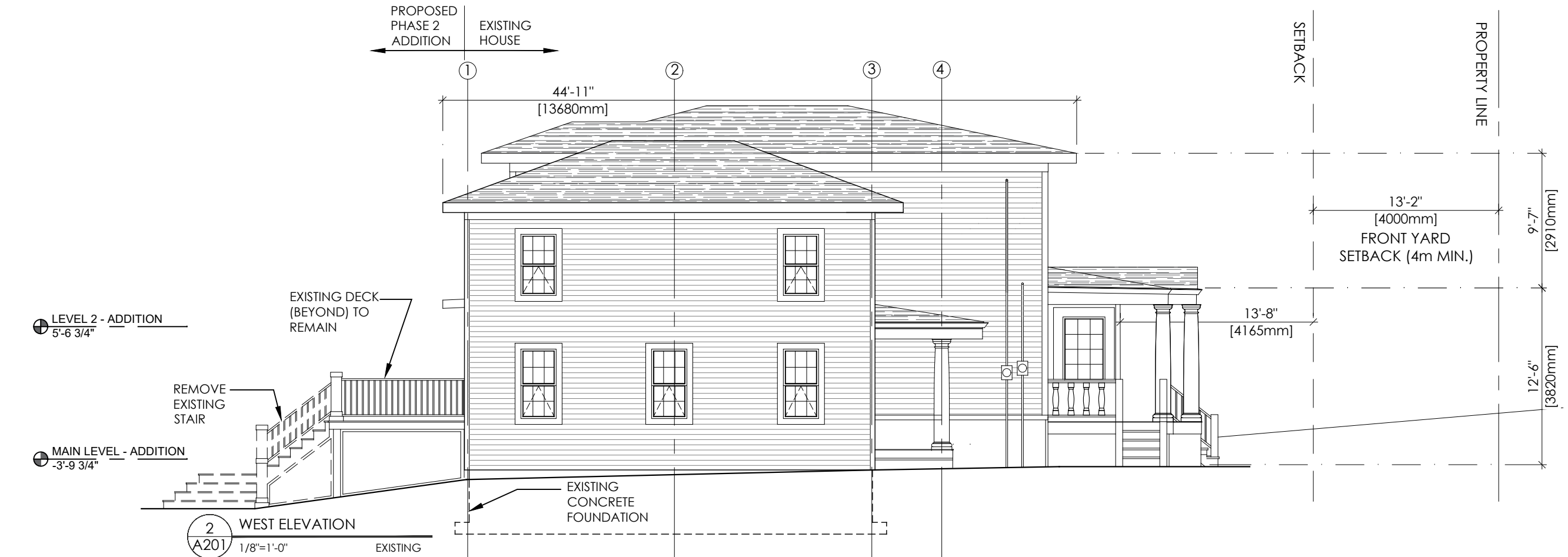
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SCALE: 1/8" = 1'-0"	DATE: 29 AUG 2025
DRAWING NO: A-104	NORTH:
PROJECT NO: 2025-XX	



TITLE:	
PROPOSED FOUNDATION PLAN	
DRAWN:	CHECKED:
JB	HB
SCALE:	DATE:
1/8" = 1'-0"	29 AUG 2025
DRAWING NO:	NORTH:
A-105	
PROJECT NO:	
2025-XX	



Front Elevation to be revised to reflect as built for front verandah



CO:WORK
COLLABORATIVE ARCHITECTURE

STAMP:

ISSUE SCHEDULE

1	SITE PLAN APPROVAL	29 AUG 2025
No	DESCRIPTION:	DATE:

REVISION SCHEDULE

No	DESCRIPTION:	DATE:

ADDRESS:

250 MAIN STREET
WOLFVILLE, NOVA SCOTIA
PHASE 2

TITLE:

EXISTING ELEVATIONS:
SOUTH AND WEST

DRAWN: JB	CHECKED: HB
SCALE: 1/8" = 1'-0"	DATE: 29 AUG 2025
DRAWING NO: A-201	NORTH:
PROJECT NO: 2025-XX	

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ISSUE SCHEDULE

1	SITE PLAN APPROVAL	29 AUG 2025
No	DESCRIPTION:	DATE:

REVISION SCHEDULE

No	DESCRIPTION:	DATE:

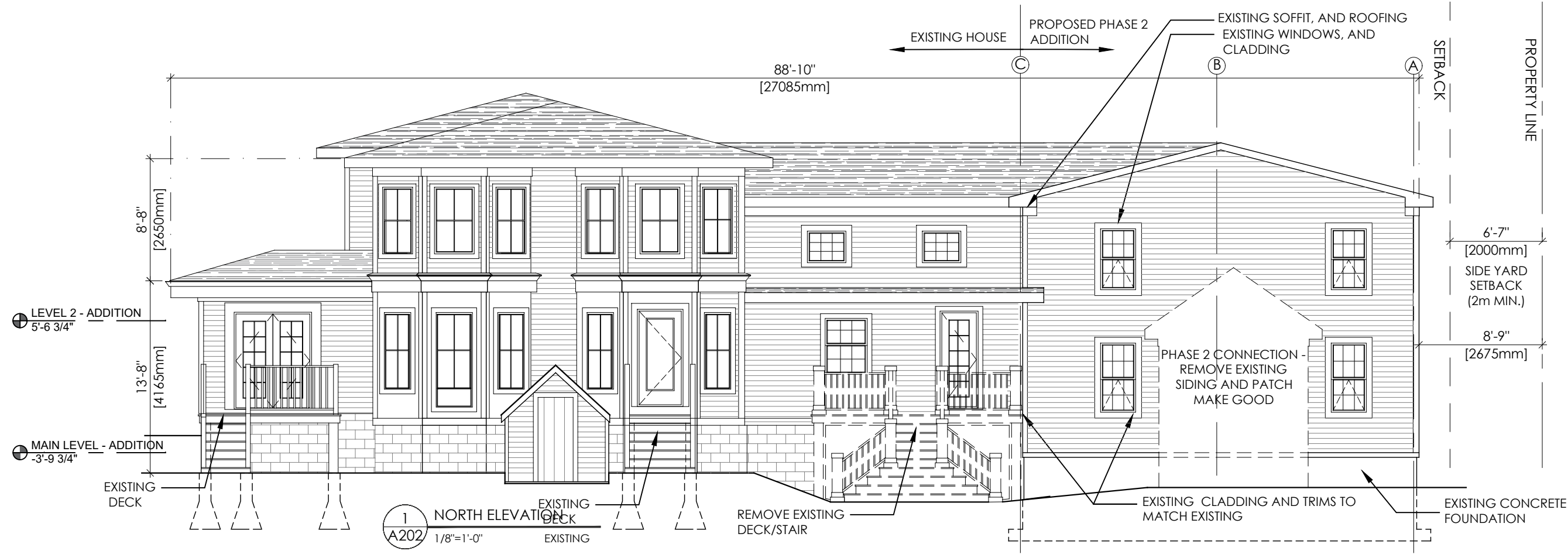
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250 MAIN STREET
WOLFVILLE, NOVA SCOTIA
PHASE 2

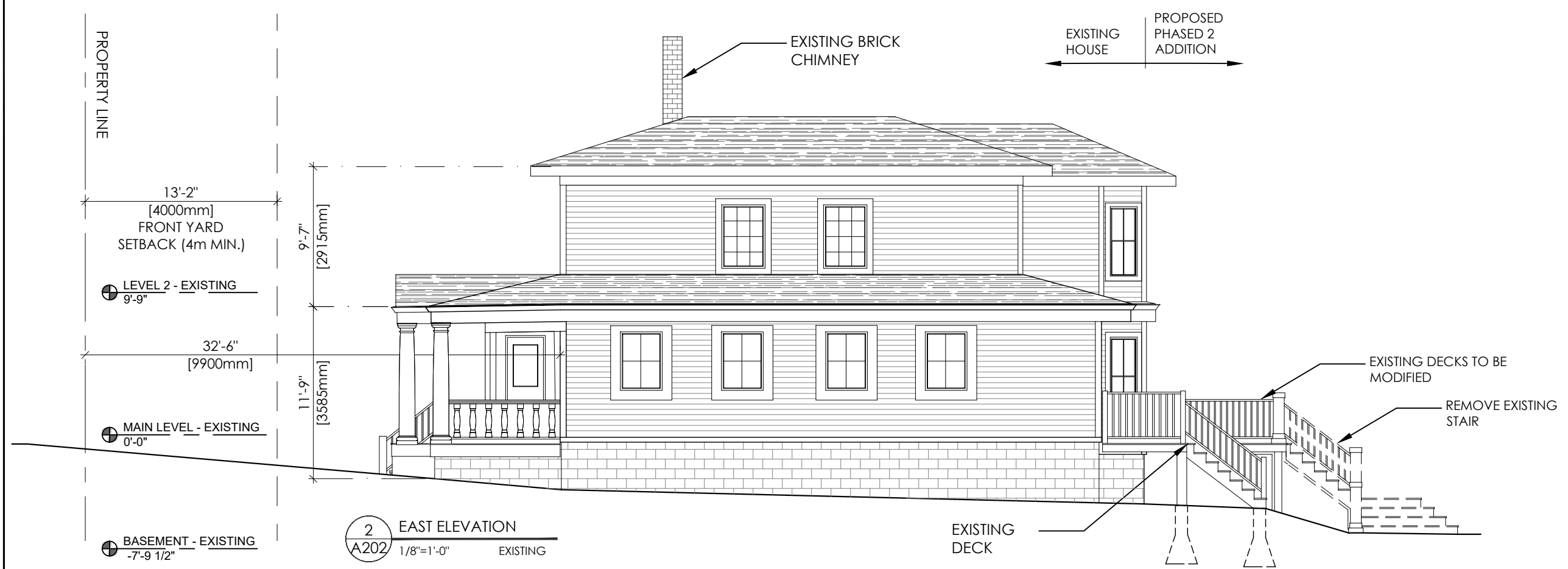
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EXISTING ELEVATIONS:
NORTH AND EAST

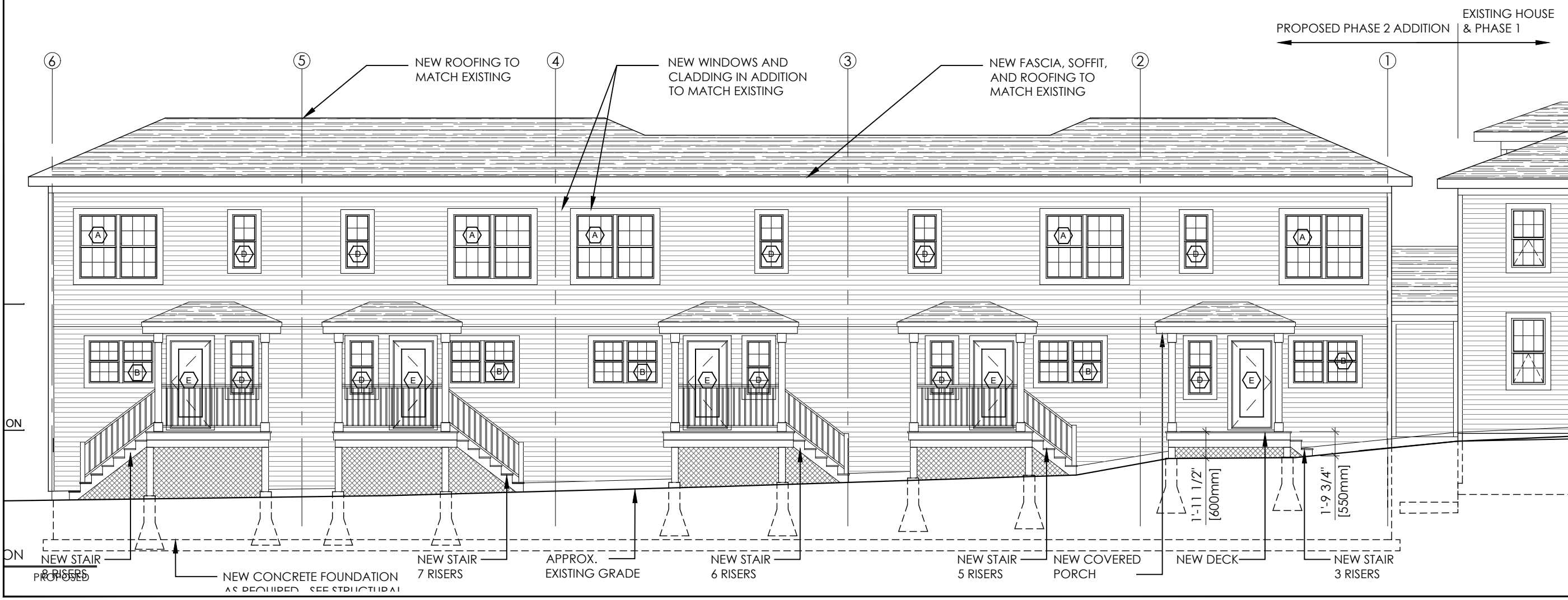
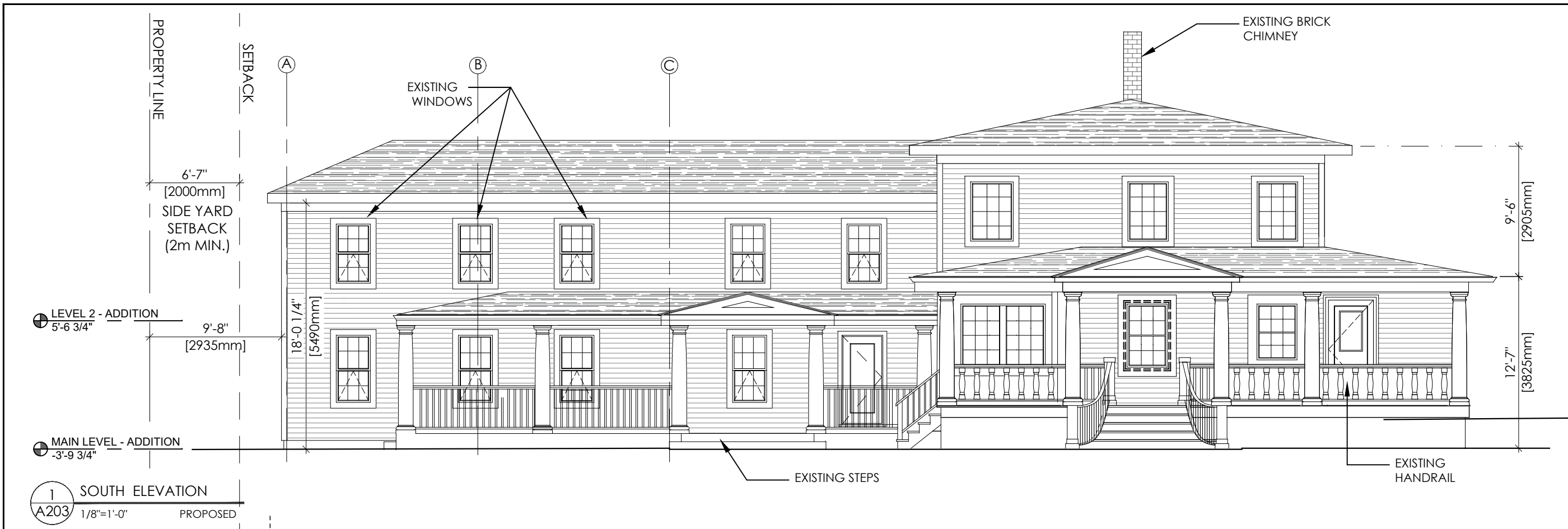
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SCALE: 1/8" = 1'-0"	DATE: 29 AUG 2025
DRAWING NO: A-202	NORTH:
PROJECT NO: 2025-XX	



1 NORTH ELEVATION
A202 1/8"=1'-0"



2 EAST ELEVATION
A202 1/8"=1'-0"



CO:WORK
COLLABORATIVE ARCHITECTURE

STAMP:

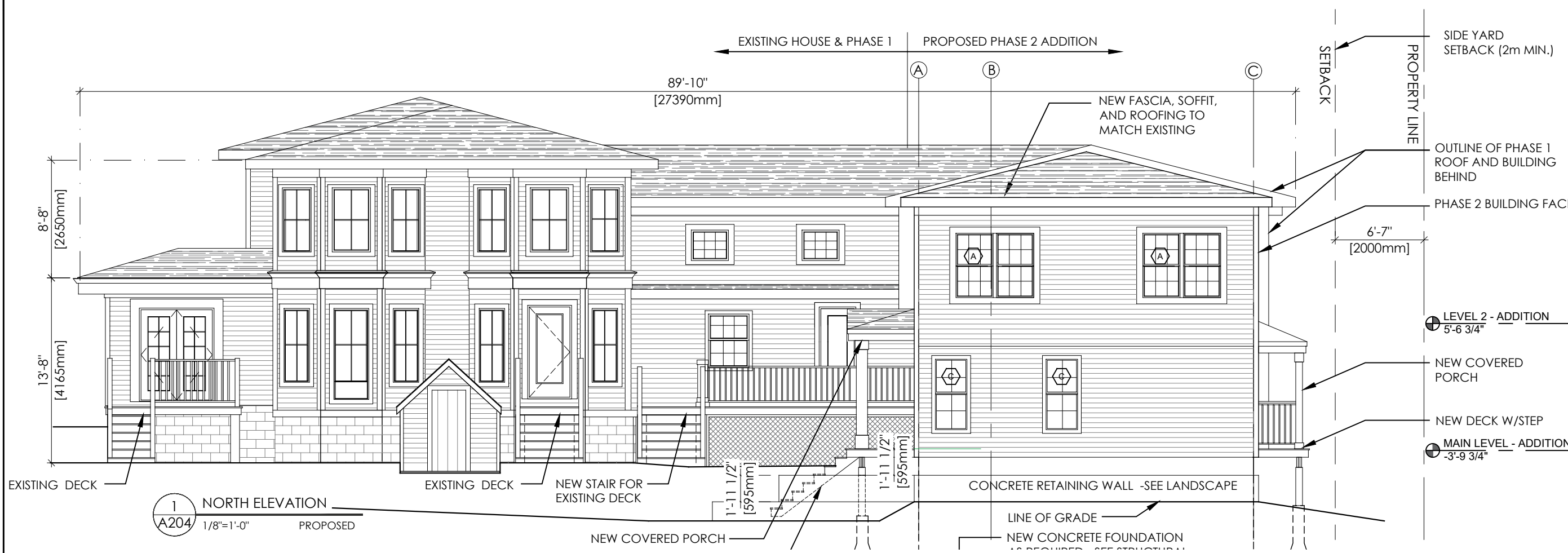
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No	DESCRIPTION	DATE
1	SITE PLAN APPROVAL	29 AUG 2025
No	DESCRIPTION	DATE

REVISION SCHEDULE		
No	DESCRIPTION	DATE
No	DESCRIPTION	DATE

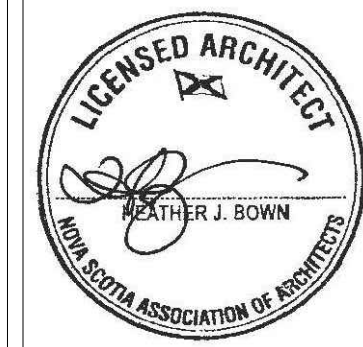
ADDRESS:
**250 MAIN STREET
WOLFVILLE, NOVA SCOTIA
PHASE 2**

TITLE:
**SOUTH ELEVATION/
WEST ELEVATION
PROPOSED**

DRAWN: JB	CHECKED: HB
SCALE: 1/8" = 1'-0"	DATE: 29 AUG 2025
DRAWING NO: A-203	NORTH:
PROJECT NO: 2025-XX	



CO:WORK
COLLABORATIVE ARCHITECTURE



ISSUE SCHEDULE		
No	DESCRIPTION:	DATE:
1	SITE PLAN APPROVAL	29 AUG 2025

REVISION SCHEDULE		
No	DESCRIPTION:	DATE:

ADDRESS:
250 MAIN STREET
WOLFVILLE, NOVA SCOTIA
PHASE 2

TITLE: NORTH ELEVATION/ EAST ELEVATION PROPOSED			
DRAWN:	JB	CHECKED:	HB
SCALE:	1/8" = 1'-0"	DATE:	29 AUG 2025
DRAWING NO:	A-204	NORTH:	
PROJECT NO:	2025-XX		

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GENERAL NOTES

1. PLAN VALUES ARE BASED ON THE NOVA SCOTIA COORDINATE REFERENCING SYSTEM.
2. GRADES SHOWN ARE APPROXIMATE. FINISHED GRADE IS TO BE APPROVED IN THE FIELD BY THE ENGINEER.
3. ALL WORKS SHOULD BE DONE IN ACCORDANCE WITH THE TOWN OF WOLFVILLE STANDARDS AND THE STANDARD MUNICIPAL SPECIFICATIONS (LATEST EDITION)
4. UTILITY INFORMATION IS APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE TO ARRANGE FOR ON SITE LOCATES WITH ALL UTILITIES PRIOR TO START OF WORK. CONTACT www.info-ex.com AND OTHERS AS REQUIRED.
5. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK AND TO COMPLY WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS.
6. WHERE EXISTING CONDITIONS ARE SHOWN THEY ARE NOT NECESSARILY ACCURATE OR COMPLETE. THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND LOCATIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
7. THE CONTRACTOR SHALL CHECK AND VERIFY ALL PROPOSED DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY ADJUSTMENTS WILL BE MADE BY THE ENGINEER AS NECESSARY.
8. CONTRACTOR IS RESPONSIBLE FOR SETTING GRADES AND LAYOUT CONTROL.
9. TRAFFIC SIGNS ARE NOT TO BE REMOVED OR REPLACED WITHOUT AUTHORIZATION FROM THE TRAFFIC AUTHORITY AND THE ENGINEER.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF TREES. TREES ARE NOT TO BE REMOVED WITHOUT PERMISSION FROM THE ENGINEER.
11. WORK IN THE IMMEDIATE AREA OF A NOVA SCOTIA MONUMENT MUST BE CARRIED OUT BY HAND. THE CONTRACTOR IS RESPONSIBLE FOR ANY COSTS IF MONUMENTS ARE DISTURBED.
12. AT COMPLETION OF WORK REINSTATE ALL DISTURBED SURFACES TO THE SATISFACTION OF THE ENGINEER.
13. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL NATURAL FEATURES, SUCH AS WATERCOURSES AND ALL SEDIMENT LADEN RUNOFF FROM THE CONSTRUCTION SITE. ACCEPTABLE PROCEDURES ARE AVAILABLE FROM THE NS ENVIRONMENT DOCUMENT "EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION SITES".
14. ALL EARTHWORK TO BE REVIEWED AND CERTIFIED BY GEOTECHNICAL ENGINEER.
15. DRAWINGS SUBJECT TO CONSTRUCTION APPROVAL BY APPROVAL AGENCIES AND REGULATORS (Town of Wolfvill, NS ENVIRONMENT) PRIOR TO CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL NOTES.
16. EXPOSED SOIL TO BE MINIMIZED AT ALL TIMES DURING CONSTRUCTION TO LIMIT SEDIMENT LADEN RUNOFF.
17. STABILIZE ONE AREA OF WORK BEFORE THE NEXT EXCAVATION BEGINS.
18. CONTRACTOR TO BE AWARE OF THE CURRENT WEATHER FORECAST AND PLAN WORK AND SOIL EXPOSURE ACCORDINGLY.
19. ALL WORK TO BE IN ACCORDANCE WITH NOVA SCOTIA ENVIRONMENT REQUIREMENTS.
20. ALL WORK IS TO BE IN ACCORDANCE WITH THE NOVA SCOTIA ENVIRONMENT DOCUMENT AND "EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION SITES".
21. CONTRACTOR TO ACQUIRE ALL NECESSARY PERMITS TO PERFORM WORK AND TO COMPLY WITH ALL PERMIT REQUIREMENTS AND CONDITIONS.
22. CONTRACTOR TO PERFORM REGULAR INSPECTIONS OF EROSION CONTROL MEASURES AND MAKE REPAIRS AS NEEDED. ADDITIONAL REVIEW MAY BE NEEDED BEFORE AND AFTER RAIN EVENTS.
23. STORM RUNOFF TO BE DIRECTED TO SEDIMENT CONTROL DEVICES.
24. CONTRACTOR TO HAVE ADDITIONAL SEDIMENT CONTROL MEASURES ON HAND, SPECIFICALLY SILT FENCE, HAY BALES, AND CLEAN GRAVEL FOR BERMS.
25. EXPOSED SURFACES TO BE COVERED WITH HAY, MULCH OR WOOD CHIPS TO LIMIT RUNOFF.
26. SEDIMENT BERMS AND DAMS TO REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
27. ALL DISTURBED AREAS NOT STABILIZED BY GRAVEL, SOD, ASPHALT OR CONCRETE.

GENERAL LEGEND

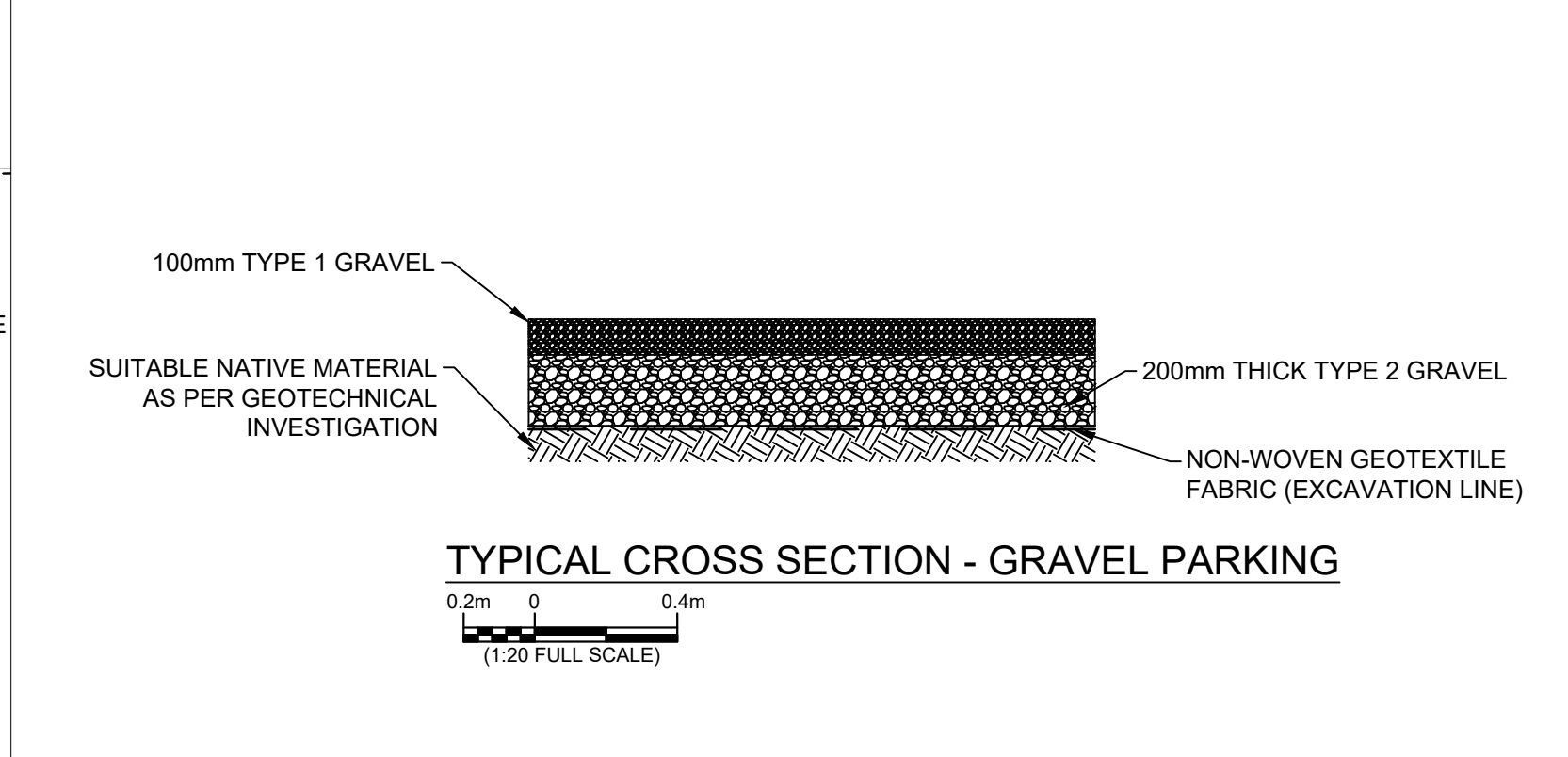
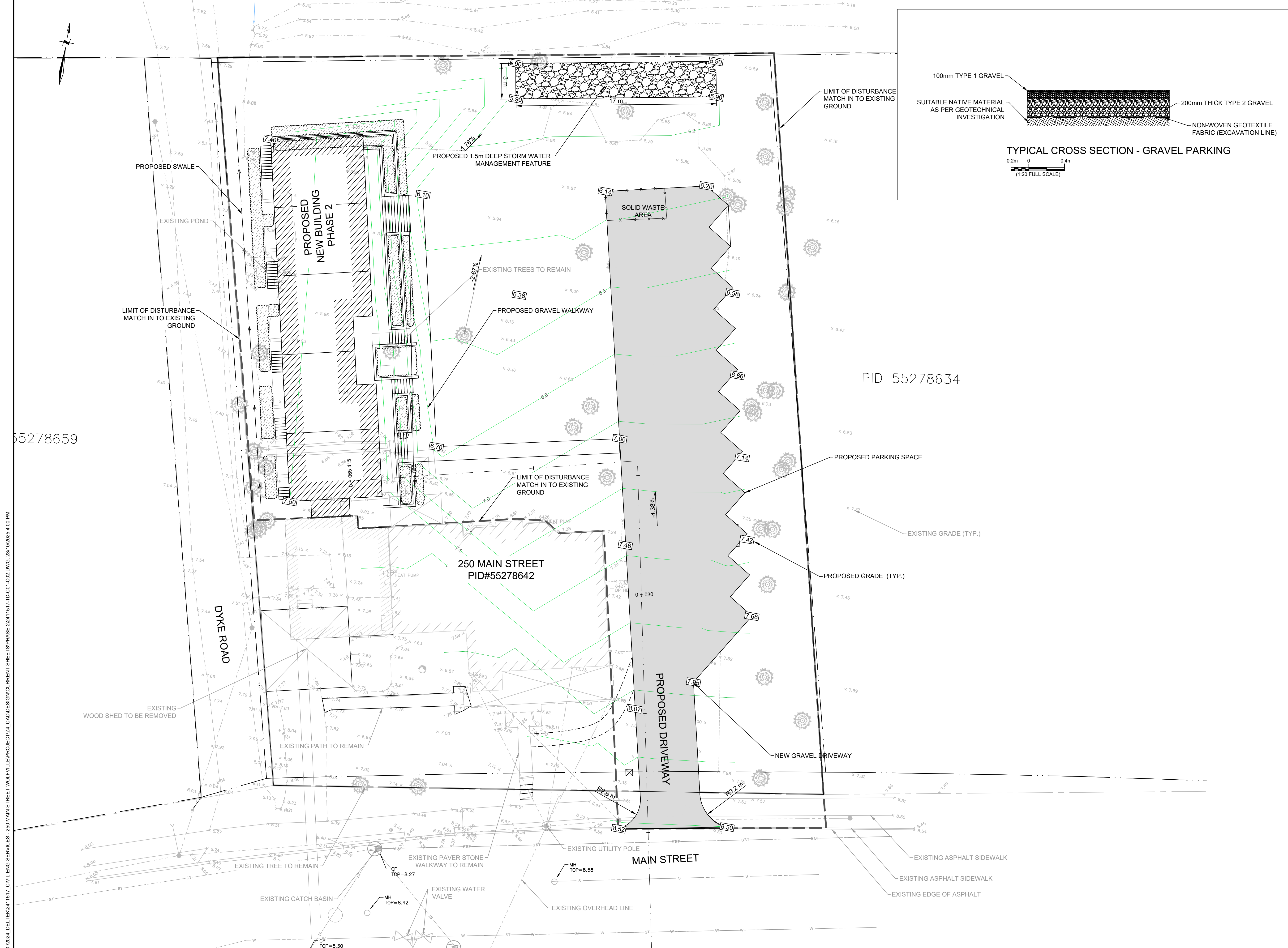
ITEM	EXISTING	NEW
R.O.W.		
WATER MAIN		
SANITARY SEWER		
SEWER PRESSURE PIPE		
STORM SEWER		
SANITARY MANHOLE		
STORM MANHOLE		
CATCH BASIN		
SLUICE BOX		
VALVE		
FIRE HYDRANT		
CURB STOP		
BENDS		
TEE		
CAP OR PLUG		
REDUCER		
SLEEVE OR COUPLING		
UTILITY POLE		
TREE		
WELL		
BOREHOLE		
ASPHALT DRIVEWAY		
GRAVEL DRIVEWAY		
FENCE		
CULVERT		
TREE LINE		
GUIDE RAIL		
RAILROAD		
EROSION CONTROL STRUCTURE		
		TYPE "A" TYPE "B" TYPE "C"
WATERCOURSE		
LEFT DITCH		
RIGHT DITCH		
WETLAND		
SILT FENCING		
LIMIT OF CONTRACT		L.O.C.
LIMIT OF GRADING		L.O.G.
LIMIT OF PAVING		L.O.P.
LIMIT OF WORK		L.O.W.
NOT IN CONTRACT		N.I.C.

NOTES

A.0	AUG 28/25	ISSUED FOR SITE PLAN APPROVAL	JAP	TV
NO.	DATE	REVISIONS	BY	APPR.



PROJECT TITLE				
250 MAIN STREET				
WOLFVOLLE			N.S.	
DRAWING TITLE				
SITE PLAN, LEGEND AND GENERAL NOTES PHASE 2				
Scale <				



NOTES					
1.	ALL TREES TO REMAIN AND PROTECTED DURING CONSTRUCTION				
B.1	OCT 21/25	RE-ISSUED FOR PERMIT	JAP	TV	
B.0	SEP 09/25	ISSUED FOR PERMIT	JAP	TV	
A.0	AUG 28/25	ISSUED FOR SITE PLAN APPROVAL	JAP	TV	
NO.	DATE	REVISIONS	BY	APPR.	

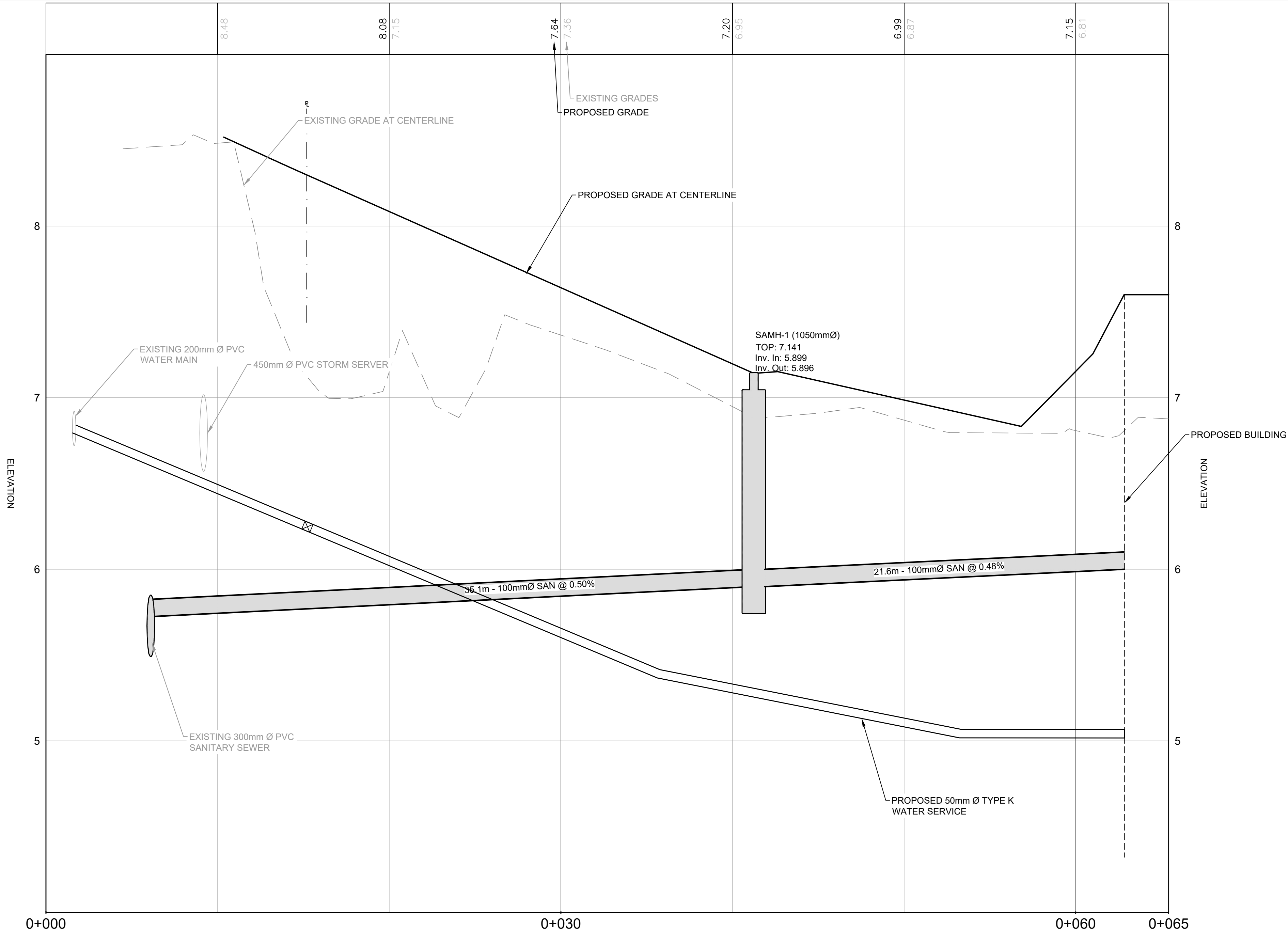
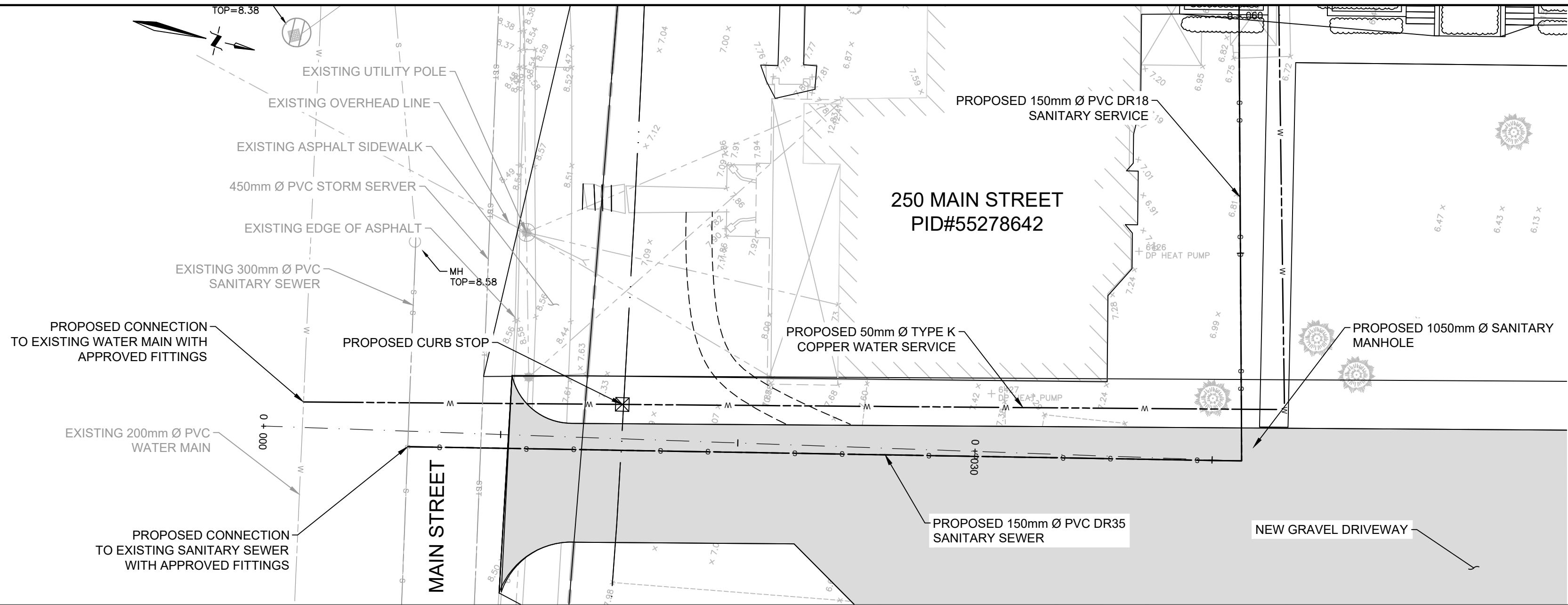
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englobe

PROJECT TITLE		
250 MAIN STREET PHASE 2		
WOLFVILLE N.S.		
DRAWING TITLE		
GRADING PLAN		
Scale	Drawn By	Design By
	JAP	TV
	Checked By	Cadd Check
	TV	#####
Sheet 01 of 03		
File Name		
2411517-1D-C01-C02.DWG		
Drawing No.		
2411517-1D-C02		

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NOTES

- ALL UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

B.1	OCT 21/25	ISSUED FOR PERMIT	JAP	TV
NO.	DATE	REVISIONS	BY	APPR.



PROJECT TITLE

250 MAIN STREET
PHASE 2

WOLFVILLE

N.S.

DRAWING TITLE

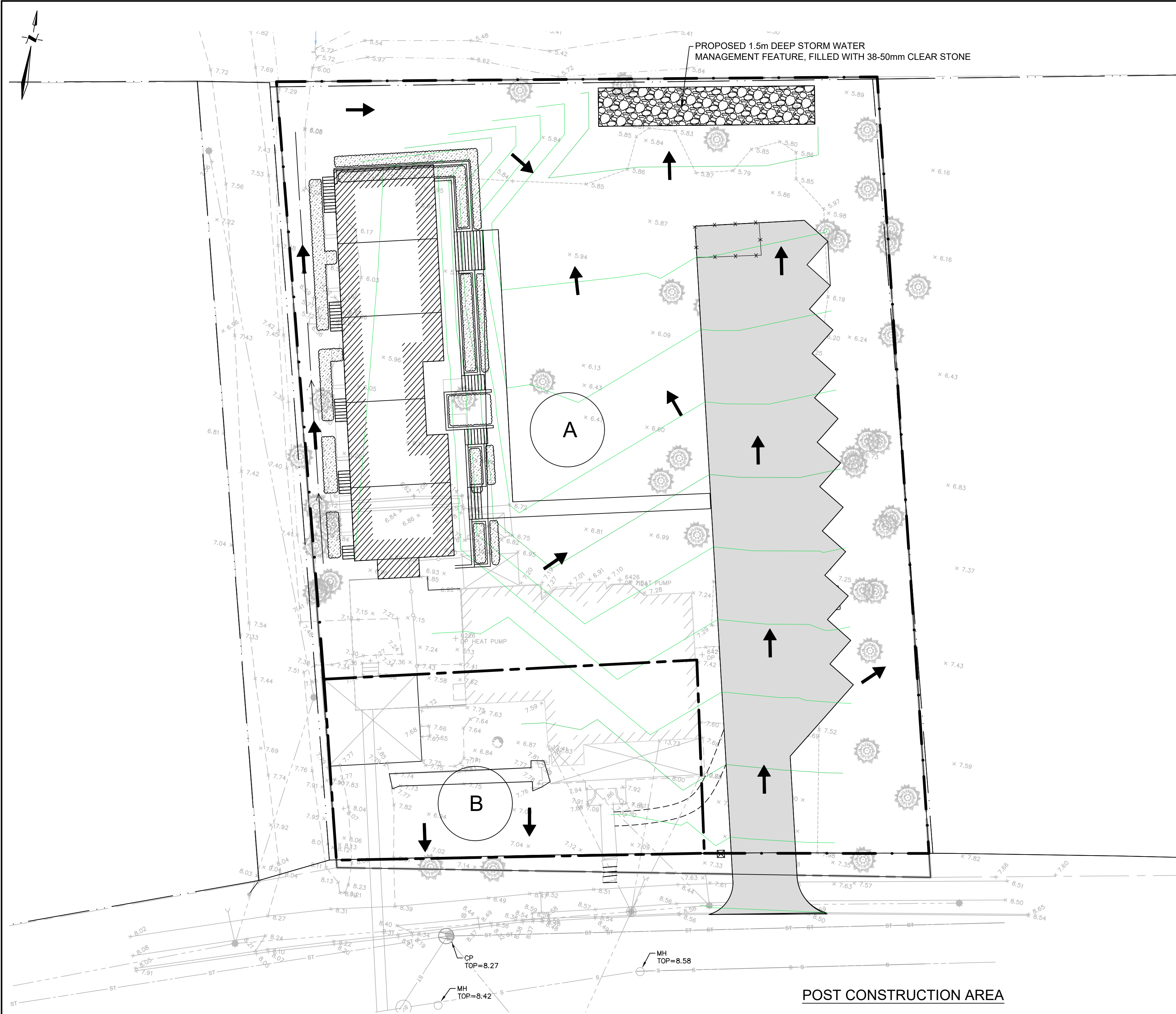
SERVICING PLAN AND PROFILE

Scale	Drawn By	Design By
1:500 Horizontal (Full Scale)	JAP	TV
1:50 Vertical (Full Scale)	Checked By	Cadd Check
	TV	#####
	Sheet	02 of 03

File Name
2411517-1D-C01-C02.DWG

Drawing No.
2411517-1D-C03

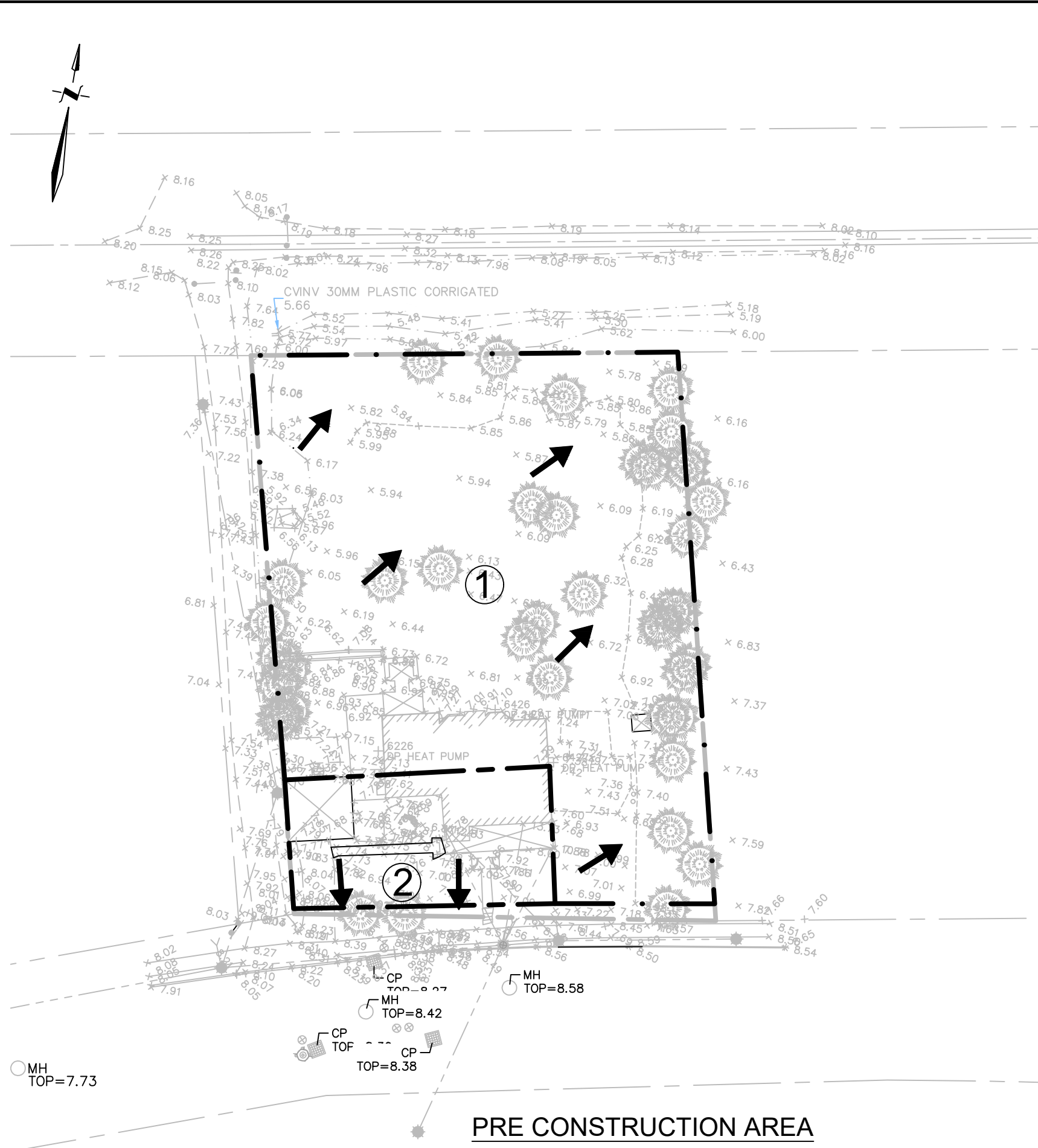
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POST-DEVELOPMENT AREAS		
ID	AREA(SQ.MT)	COMPOSITE CN
1	2412.32	91
2	454.68	86
Total	2867	

PRE-DEVELOPMENT AREAS		
ID	AREA(SQ.MT)	COMPOSITE CN
A	2412.32	89
B	454.68	87
Total	2867	

CN FOR <50% GRASS COVER SURFACE = 86
CN FOR ROOFS = 98
CN FOR GRAVEL PARKING AND SIDE WALK = 86
STORAGE VOLUME REQUIRED TO MEET 100 RAINFALL VOLUME = 30.2m³
BASED ON KENTVILL METROLOGICAL STATION



NOTES

B.1	OCT 21/25	RE-ISSUED FOR PERMIT	JAP	TV
B.0	SEP 09/25	ISSUED FOR PERMIT	JAP	TV
A.0	AUG 28/25	ISSUED FOR SITE PLAN APPROVAL	JAP	TV
NO.	DATE	REVISIONS	BY	APPR.

ENGLOBE



PROJECT TITLE

250 MAIN STREET
PHASE 2

WOLFVILLE N.S.

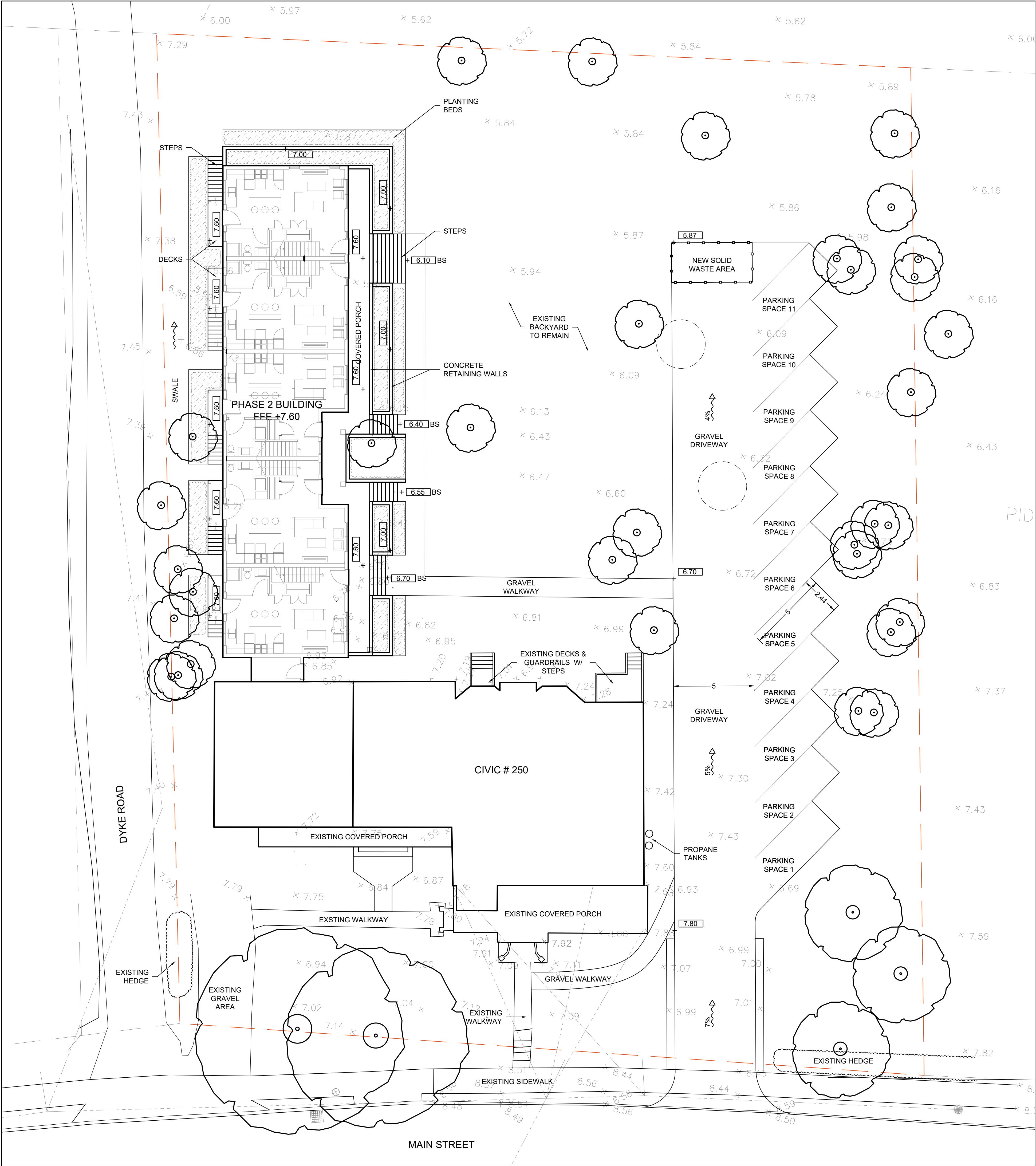
DRAWING TITLE

STORM WATER MANAGEMENT PLAN

Scale	Drawn By	Design By
1.5m 0 3m (1:150 FULL SCALE)	JAP	TV
	Checked By	Cadd Check
	TV	#####
	Sheet	03 of 03

File Name
2411517-1D-C03-C04.DWG

Drawing No.
2411517-1D-C03

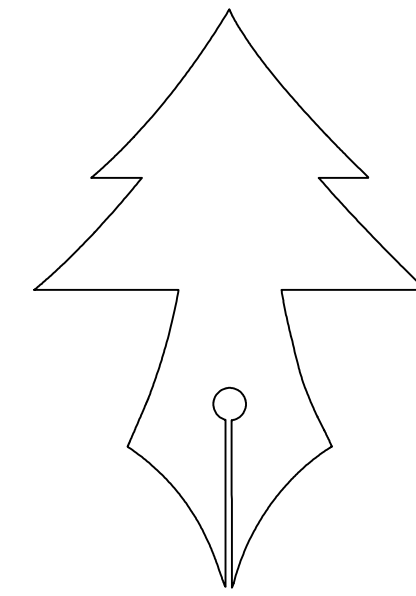


LEGEND

	Property Boundaries		Overhead cables
	Existing elevation		Existing fence
	Proposed contour		Existing tree to remain
	Proposed contour elevation and/or spot elevation		Existing tree to remove
	Finish grade elevation @ top of wall, curb or step		New tree
	Finish grade elevation @ base of wall, curb or step		New shrub and perennial planting
	Local drainage high point/low point		
	Utility pole		

GENERAL NOTES

- Topographical survey information shown on these plans is from surveys by Thompson Conn Limited.
- All construction procedures are to comply with federal and local regulations and project specifications.
- Use erosion and sedimentation control measures to prevent soil erosion and discharge of soil-bearing water runoff to adjacent properties, catch basins or any watercourses.
- Protect all street trees as per local by-laws.
- Do not scale this drawing for construction.
- All measurements on this drawing are in metric units.
- Drawings to be read with specifications.
- Locate all underground services before start of construction.
- Refer to other consultants' plans and specifications.
- All work to NSSMS standards
- All planting shall conform to the Canadian Landscape Standard, latest edition.



FIRST PEN STUDIO
LANDSCAPE ARCHITECTURE
1 . 9 0 2 . 5 2 3 . 1 6 4 9

CLIENT

PENTAGON
PROPERTIES LTD

ISSUE 1

2025-08-29

SITE PLAN APPROVAL

ISSUE 2

ISSUE 3

ISSUE 4

ISSUE 5

NOTES

STAMP

NORTH



SCALE

1:125

PROJECT NUMBER

FP24010

PROJECT
250 MAIN STREET,
WOLFVILLE, NS
PHASE 2

TITLE
LANDSCAPE PLAN

DRAWING

L1

Site Plan Approval – Criteria Checklist

APPLICATION: SP-001-2025 – 250 Main Street – Conversion and Addition to Create Three Dwelling Units	
Land Use Bylaw Reference	Staff Comments
2.10 Submission Requirements	Application requirements met.
Zone Standards: Part 20 Neighbourhood Commercial (C-2) zone Permitted Use Table 8.1	Addition of five dwelling units for a total of eight units on the property. Permitted by Site Plan Approval Proposal meets setbacks, lot coverage, height and hard surface requirements.
Design Guidelines: This property is located in the Core Neighbourhood Design Guidelines Area LUB 8.2(2).	Addition greater than 25% - requires Site Plan Approval.
Part 5 Development Constraints 5.1(2) This property is located in a Flood Risk Area as identified on Schedule B Development Constraints Map	The Developer will be required to sign a Flood Risk Area Development Undertaking Form prior to issuance of development permit.
Part 6 Parking Parking is calculated using table 6.1 1.25 space per dwelling unit plus additional ½ space for bedrooms in excess of three. Single room occupancy – one space for bedrooms in excess of three.	Parking calculated on new addition and expansion of existing use. Add five dwelling units $1.25 \times 5 = 6.25$ – rounds down to 6
Site Plan Approval Requirements:	
1. <i>The location of new structures on the lot shall minimize negative impacts on the surrounding neighbourhood, including noise, dust, fumes, lighting, shadows, or other nuisance or inconvenience to neighbouring properties;</i>	Addition meets setbacks. No negative impacts are anticipated to neighbouring properties.
2. <i>The location of off-street parking and loading facilities shall minimize negative impacts on the surrounding neighbourhood, including traffic, noise, dust, fumes, lighting, or other nuisance or inconvenience to neighbouring properties;</i>	6 parking spaces will be added to the proposed parking area on the east side of the property. No negative impacts are anticipated – additional buffering to adjacent property to be added should impacts arise.

Site Plan Approval – Criteria Checklist

3. <i>The location, number and width of driveways are designed to prevent traffic, noise, dust, fumes, congestion, or other nuisance and inconvenience in the area and minimize negative impacts on the surrounding neighbourhood;</i>	A new driveway will be added to the east side of the property for access to the new parking area. Negative impacts are not anticipated.
4. <i>The type, location, and height of walls, fences, hedges, trees, shrubs, ground cover or other landscaping elements which is necessary to protect and minimize negative land use impact on neighbouring properties;</i>	Existing landscaping will be retained as much as possible and more will be added should negative impacts to neighbouring properties arise. Tree retention plan by a qualified arborist will be required for the large trees on the property.
5. <i>Existing vegetation shall be retained where the vegetation is healthy and helps to minimize negative impacts on the surrounding neighbourhood;</i>	Existing vegetation to be retained as much as possible.
6. <i>The location of pedestrian walkways, and/or related infrastructure, shall be provided to link public sidewalks and parking areas to entrances of all primary buildings;</i>	Existing access walkway to access the main dwelling and addition will remain unchanged, and a walkway will be added from the new parking area.
7. <i>The type and location of outdoor lighting is designed to light the structure, driveways and pedestrian infrastructure, but shall not be directed onto neighbouring properties;</i>	New lighting will be provided at entrances and designed in compliance the Land Use Bylaw.
8. <i>The location of facilities for the storage of solid waste provides for maximum separation from residential development and public areas;</i>	Solid waste will be located at the rear of the parking area. Temporary storage on the east side of the property has been permitted while construction is ongoing.
9. <i>The location of all existing easements shall be identified;</i>	N/A
10. <i>The grading or alteration in elevation or contour of the land shall minimize undue erosion and/or sedimentation, and other negative impacts on neighbouring properties;</i>	Site grading plan has been submitted and approved by the Town Engineer.
11. <i>The management of storm and surface water is addressed, and associated plans are approved by the Town Engineer;</i>	Stormwater management plan has been submitted and approved by the Town Engineer.

Site Plan Approval – Criteria Checklist

12. <i>The type, location number and size of signs or sign structures do not negatively alter the appearance of the streetscape or neighbourhood;</i>	N/A
13. <i>All signage shall be designed and constructed according to the signage requirements listed in Part 7;</i>	N/A
14. <i>Developments located in a Design Guidelines Area shall adhere to the design guidelines listed in Schedule "F" Town of Wolfville Design Guidelines. Input from the Design Review Committee may be required.</i>	Design elements of the addition are in keeping with the existing house.
15. <i>The Development Officer may vary any of the prescriptive dimensional requirements by up to 10 percent of the requirements to allow some flexibility to accommodate physical anomalies of a site, so long as the intent of the particular requirement is not compromised.</i>	New driveway width has been reduced to 5m and parking spaces reduced slightly to accommodate retaining mature trees.